

# **El Sobrante Municipal Advisory Council**

## **MEETING AGENDA**

**Wednesday, February 8th, 2023, 7:00 PM**

### **VIRTUAL MEETING IN EFFECT**

**AS PERMITTED BY GOVERNMENT CODE SECTION 54953 (E), AND IN ACCORDANCE WITH THE PUBLIC HEALTH OFFICER'S RECOMMENDATIONS FOR VIRTUAL MEETINGS AND SOCIAL DISTANCING, THE EL SOBRANTE MUNICIPAL ADVISORY COUNCIL MEMBERS MAY PARTICIPATE IN THE MEETING REMOTELY. THE MEETING WILL BE ACCESSIBLE IN-PERSON AND VIA *ZOOM* (LOGIN INFORMATION IS PROVIDED BELOW) TO ALL MEMBERS OF THE PUBLIC. PERSONS WHO WISH TO PROVIDE PUBLIC COMMENT MAY SPEAK DURING THE PUBLIC COMMENT SEGMENT BY RAISING THEIR HAND.**

#### **HOW TO VIEW THE MEETING VIA ZOOM:**

Link: <https://cccouny-us.zoom.us/j/89761063014>

#### **HOW TO PROVIDE PUBLIC COMMENT:**

Persons who wish to address the MAC during Public Comment or with respect to an item on the agenda may join the meeting (use link above) or call in as follows:

**Zoom meeting Dial-In-Number:** 888 278 0254

**Conference code:** 545286

**Meeting ID:** 897 6106 3014

**All public comments will be limited to 2 minutes per speaker.**

For assistance with remote access contact Edgar Rosales at:

[Edgar.Rosales@bos.cccounty.us](mailto:Edgar.Rosales@bos.cccounty.us) or 510-942-2222

**Chair:** Thomas Lang; **Vice Chair:** George Cleveland

**Members:** Susan Boudreau, Jim Hermann, Dr. Melinda V. McLain, Mikki Norris, Tom Owens

**Alternates:** Shirley Rosenthal-Winston, Emilie Whelan

Electronic copies of the agenda are available for download at:

<https://www.contracosta.ca.gov/AgendaCenter/El-Sobrante-Municipal-Advisory-Council-50/?#02132019-1994>

### **Call to Order/Welcome/Roll Call**

**Treasurer's Report** – Edgar Rosales, District Coordinator, Office of Supervisor John Gioia

### **Approval of Minutes**

**A.M.1.** Approve minutes of November.

### **Presentations**

**P.1. Presentation by Contra Costa County Fire Protection District, Chief Lon Goetsch**

**P.2. Presentation by Sheriff's Office Bay Station Commander, Lt. Mark Rodriguez**

**P.3. Presentation by California Highway Patrol (tentative)**

**P.4. Presentation by District Coordinator Edgar Rosales on county updates**

**P.5. Presentation by Uche J. Uwahemu, Director of Gov. Affairs of Center for Elders' Independence on El Sobrante Project**

### **Discussion Items**



**DI. Development plan applications, variance reports, building modification requests, appeals etc., received in the previous month from the Contra Costa County Conservation and Development Department and Notices of Public Hearings.**

**D.1. County File Number: CDLP23-02003 (Address: 3645-3711 SAN PABLO DAM RD, EL SOBRANTE, CA 94803).** The applicant requests a Land Use Permit/Development Plan combination to construct a senior care facility "PACE Center" within an existing vacant building. The project also includes demolition of several structures on the site and the remodel and new facade of the remaining building. New site improvements include improvements to parking and landscaping other related site requirements.

**D.2. County File Number: CDLP22-02049 (Address: 216 Sobrante Ave, El Sobrante, Ca 94803).** Request approval of a Land Use Permit application to modify and/or remove certain conditions of approval for Land Use Permit CDLP14-02052 for the operational restaurant Up and Under 2nd Pitch.

### **Information Items**

**10.1 Information Reports by MAC members.**

### **Subcommittee Reports**

**11.1 Regular litter cleanups are held on the third Saturday of each month from 10 AM to Noon. Meet at the El Sobrante Library, 4191 Appian Way, to sign in, borrow equipment (if needed), and find a designated area to clean with others in the 94803 area. Mikki Norris is the contact: [mikkinorris@comcast.net](mailto:mikkinorris@comcast.net)**

### **Agenda Items / Speakers for Upcoming ESMAC Meetings**

**A.1. EBMUD on Budget and Rates presentation (May 10<sup>th</sup>).**

**Public Comment on items not on the agenda (2 minutes per speaker limit)**

### **Adjournment**



Date Jan. 24, 2023

<i>DISTRIBUTION</i>	
<u>INTERNAL</u>	
✓ Building Inspection	Grading Inspection
Advance Planning	Housing Programs
✓ Trans. Planning	Telecom Planner
ALUC Staff	HCP/NCCP Staff
APC PW Staff	County Geologist

✓ Environmental Health      Hazardous Materials  
PUBLIC WORKS DEPARTMENT  
 ✓ Engineering Services (1 Full-size + 3 email Contacts)  
 Traffic  
 Flood Control (Full-size)      Special Districts

- ✓ Fire District \_\_\_\_\_
  - San Ramon Valley – (email) [rwendel@srvfire.ca.gov](mailto:rwendel@srvfire.ca.gov)
  - ✓ Consolidated – (email) [fire@cccfd.org](mailto:fire@cccfd.org)
  - East CCC – (email) [brodriguez@eccfpd.org](mailto:brodriguez@eccfpd.org)
- ✓ Sanitary District \_\_\_\_\_ West Co Wastewater
- ✓ Water District \_\_\_\_\_ EBMUD
- ✓ City of \_\_\_\_\_ Richmond
- School District(s) \_\_\_\_\_
- LAFCO
- Reclamation District # \_\_\_\_\_
- East Bay Regional Park District
- Diablo/Discovery Bay/Crockett CSD
- ✓ MAC/TAC \_\_\_\_\_ El Sobrante Mac
- ✓ Improvement/Community Association
- ✓ CC Mosquito & Vector Control Dist (email)

CHRIS (email only: [nwic@sonoma.edu](mailto:nwic@sonoma.edu))  
CA Fish and Wildlife, Region 3 – Bay Delta  
Native American Tribes

el sobrante planning and advisory committee

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Supervisor District I Office

Project Planner Jennifer Cruz  
Phone # 925-655-2867  
E-mail jennifer.cruz@dcd.cccounty.us  
County File # CDLP23-02003

Prior to Feb. 21, 2023

\* \* \* \* \*

Flood Hazard Area, Panel #\_\_\_\_\_

High or Very High FHSZ

\* \* \* \* \*

Comments:      None      Below      Attached

Print Name \_\_\_\_\_

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Signature
DATE

Agency phone # \_\_\_\_\_



# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number: CDLP23-02003**

**File Date: 1/23/2023**

**Applicant:**

Raymond Fox Raymond Fox & Associates  
1660 Hotel Circle North, Suite 340  
San Diego, CA 92108

ray@raymondfox.com  
(619) 296-4595

**Property Owner:**

Center for Elders' Independence  
510 17th Street  
Oakland, CA 94612

vgellon@cei.elders.org  
(925) 200-7432

**Project Description:**

The applicant requests a Land Use Permit/ Development Plan combination to construct a senior care facility "PACE Center" within an existing vacant building. The project also includes demolition of several structures on the site and the remodel and new facade of the remaining building. New site improvements include improvements to parking and landscaping other related site requirements.

**Project Location: (Address: 3645-3711 SAN PABLO DAM RD, EL SOBRANTE, CA 948032729), (APN: 420021047)**

**Additional APNs:**

**General Plan Designation(s):** See Map

**Zoning District(s):** P-1

**Flood Hazard Areas:** See Map

**AP Fault Zone:**

**60-dBA Noise Control:**

**MAC/TAC:**

**Sphere of Influence:** Richmond

**Fire District:** CONSOLIDATED FIRE

**Sanitary District:** WEST CO WASTEWATER

**Housing Inventory Site:**

**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
83PW	Planning Application Requiring PW Review and Comment	000651-9660-REV-000-6L83PW	1000.00	1000.00
ADJ0015	Fee Adjustment - DCD	002606-9660-REV-000-5B0015	1000.00	1000.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR  \$5.00	57.00	57.00
LPS0015	Dev Plan Review - DCD	002606-9660-REV-000-5B0015	10000.00	10000.00
<b>Total:</b>			<b>12162.00</b>	<b>12162.00</b>





P.A.C.E. (PROGRAM OF ALL INCLUSIVE CARE FOR THE ELDERLY)/PRIMARY CARE CLINC  
3645 SAN PABLO DAM ROAD, EL SOBRANTE CALIFORNIA 94803

**RECEIVED** on 1/23/2023 **CDLP23-02003**  
By Contra Costa County  
Department of Conservation and Development



## GENERAL NOTES

- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THE BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABETICAL LETTERS. NUMBERS SHALL HAVE A MINIMUM STROKE WIDTH OF 0.5 INCH AND BE A MINIMUM OF 12.0 INCHES IN HEIGHT.
- EXCEPT WHERE RIGID BRACES ARE USED TO LIMIT LATERAL DEFLECTION, SPRINKLER HEADS AND OTHER PENETRATIONS THROUGH THE CEILING TILE REQUIRE MINIMUM 2-INCH RINGS, SLEEVES OR ADAPTERS THAT WILL ALLOW A MINIMUM 1-INCH CEILING MOVEMENT IN ALL HORIZONTAL DIRECTIONS. ALTERNATIVELY, A SWING JOINT CAN BE PROVIDED AT THE TOP OF THE SPRINKLER HEAD EXTENSION TO ACCOMMODATE THE 1-INCH MOVEMENT. ASCE 7, SEC. 13.5.6.2.2.

## PROJECT DATA

FACILITY OPERATOR:  
AUTHORITY NAME: **CENTER FOR ELDERS' INDEPENDENCE**  
510 17TH STREET,  
OAKLAND CA 94612  
CONTACT: VIC GELLON  
PHONE: (925) 200-7432  
EMAIL: vgellon@cei.com

BUILDING OWNER:  
**CENTER FOR ELDERS' INDEPENDENCE**  
510 17TH STREET,  
OAKLAND CA 94612  
CONTACT: VIC GELLON  
PHONE: (925) 200-7432  
EMAIL: vgellon@cei.com

CURRENT BUILDING  
ADDRESS : 3645 SAN PABLO DAM ROAD  
EL SOBRANTE CA 94803

## LEGAL DESCRIPTION

FIRST AMERICAN TITLE INSURANCE COMPANY  
COMMITMENT NO. NCS-1146854-SC - SCHEDULE A, EXHIBIT A:

The Land referred to herein below in situated in an Unincorporated Area in the County of Contra Costa, State of California, and is described as follows:

PARCEL ONE:

PORTION OF LOT 122, AS SHOWN ON THE MAP OF SAN PABLO RANCHO, FILED MARCH 01, 1894, IN THE OFFICE OF THE COUNTY RECORDER OF CONTRA COSTA COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING ON THE NORTH LINE OF ROAD NO. 7, DISTANT THEREON NORTH 76° 50' EAST, 794 FEET FROM THE EAST LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED FROM MANUEL P. SUAREZ TO MANUEL SERPA, DATED FEBRUARY 23, 1922, RECORDED FEBRUARY 28, 1922, IN BOOK 410 OF DEEDS, PAGE 29, SAID POINT OF BEGINNING BEING AT THE SOUTHWEST CORNER OF THE PARCEL OF LAND DESCRIBED IN THE DEED FROM C. R. ADAMS, ET UX, TO JACK CAMPBELL, ET AL, DATED APRIL 20, 1944, RECORDED APRIL 25, 1944 IN BOOK 799 OF OFFICIAL RECORDS, PAGE 457; THENCE FROM SAID POINT OF BEGINNING, SOUTH 76° 50' WEST ALONG SAID NORTH LINE, 100 FEET; THENCE NORTH 13° 10' WEST, 400 FEET; THENCE NORTH 76° 50' EAST, 100 FEET TO THE WEST LINE OF SAID CAMPBELL PARCEL (750 OR 457); THENCE SOUTH 13° 10' EAST ALONG SAID WEST LINE, 400 FEET TO THE POINT OF BEGINNING.

PARCEL TWO:

PORTION OF LOT 122, MAP OF RANCHO SAN PABLO, FILED MARCH 01, 1894, CONTRA COSTA COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING ON THE NORTH LINE OF SAN PABLO DAM ROAD, FORMERLY ROAD NO. 7, DISTANT THEREON NORTH 76° 50' EAST, 894 FEET FROM THE EAST LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO MANUEL SERPA, RECORDED FEBRUARY 28, 1922, BOOK 410 OF DEEDS, PAGE 29; THENCE FROM SAID POINT OF BEGINNING SOUTH 76° 50' WEST, ALONG SAID NORTH LINE, 100 FEET; THENCE NORTH 13° 10' WEST, 400 FEET; THENCE NORTH 76° 50' EAST, TO THE CENTER LINE OF SAN PABLO CREEK; THENCE SOUTHERLY AND EASTERLY ALONG SAID CENTER LINE TO A POINT WHICH BEARS NORTH 13° 10' WEST, FROM THE POINT OF BEGINNING; THENCE SOUTH 13° 10' EAST TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED TO THE CONTRA COSTA COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF CALIFORNIA, IN GRANT DEED RECORDED OCTOBER 21, 2014 AS INSTRUMENT NO. 2014-181732 OF OFFICIAL RECORDS.

Parcel ID (APN) 420-021-047-6

ZONING:

Zoning Classification: (CO) Commercial

TOTAL LAND AREA:  
79,345 Square Feet  
1.822 Acres

PROPOSED USE : NEW MEDICAL OFFICE BUILDING

## PROJECT DESCRIPTION

TENANT IMPROVEMENT MEDICAL OFFICE BUILDING ONE STORY ABOVE  
GRADE PLANE

## PROPOSED BUILDING AREA

### OCCUPIED FLOOR AREA

LEVEL	OCCUPANCY TYPE/SF		TOTAL
	B	I-4	
1ST FLOOR	2,052 SF	17,670 SF	19,722 SF

## PROPOSED PARKING ANALYSIS

1ST FLOOR	OCCUPIED FLOOR AREA
PARKING REQUIRED (PER TITLE 9/LAND USE CODE SECTION 90402.00-90402.15) OFF-STREET PARKING REQUIREMENTS: 1/250 SF @ ADMINISTRATIVE 1/200 SF @ CLINIC/ADULT DAY CARE	19,722 SF 2,052 SF (ADMINISTRATIVE AREA) 1 SPACE PER 250 SF = 8 SPACES 17,670 SF (CLINIC/ADULT DAY CARE AREA) 1 SPACE PER 200 SF = 88 SPACES
TOTAL SPACES REQUIRED	96 SPACES
TOTAL SPACES PROVIDED	96 SPACES
ADA PARKING REQUIRED (PER 2019 CBC/TABLE 11-B-208.2)	FROM 76-100 PARKING SPACES = 4 ADA SPACES INCLUDING 1 VAN ACCESSIBLE SPACE
ADA PARKING PROVIDED	4 ADA SPACES INCLUDING 1 VAN ACCESSIBLE SPACE
CLEAN AIR VEHICLE PARKING	
CLEAN AIR VEHICLE/VANPOOL PARKING REQUIRED (PER 2019 CGBS/TABLE 5.106.5.2)	12% OF 96 SPACES = 12 SPACES NOTE: EV CHARGING/PARKING SPACES ARE CONSIDERED CLEAN AIR VEHICLE PARKING SPACES
EV VEHICLE PARKING	
EV VEHICLE/CHARGING PARKING REQUIRED (PER 2019 CGBS/TABLE 5.106.5.3.3)	10% OF 96 SPACES = 10 SPACES
CHARGING ONLY NO-PARKING SPACES	
NO-PARKING EV VEHICLE CHARGING ONLY SPACES REQUIRED (PER 2019 TABLE 11B-228.3.2.1)	VAN ACCESSIBLE = 1 SPACE STD ACCESSIBLE = 1 SPACE  TOTAL = 2 SPACES
LONG TERM BICYCLE PARKING	
LONG TERM BICYCLE PARKING REQUIRED (PER 2019 CGBS/TABLE 5.106.4.1.4)	5% OF 96 SPACES = 5 SPACES

## SHEET INDEX

- |      |                                |
|------|--------------------------------|
| TS1  | TITLE SHEET                    |
| TPS1 | TOPOGRAPHIC SURVEY             |
| LS1  | LAND SURVEY                    |
| LS2  | EXISTING ALTA LAND SURVEY      |
| ASP1 | EXISTING SITE PLAN             |
| ASP2 | EXISTING SITE PLAN INFORMATION |
| ASP3 | EXISTING SITE PLAN INFORMATION |
| ASP4 | SITE DEMOLITION PLAN           |
| ASP5 | PROPOSED SITE PLAN             |
| ASP6 | PROPOSED DIMENSIONS SITE PLAN  |
| A100 | FLOOR PLAN                     |
| A101 | EXTERIOR ELEVATIONS            |
| A102 | BUILDING SECTIONS              |

## SCOPE OF WORK

EXISTING ONE STORY FORMER WAREHOUSE BUILDING TO BE CONVERTED INTO A P.A.C.E., (PROGRAM OF ALL INCLUSIVE CARE FOR THE ELDERLY)/PRIMARY CARE CLINIC. PROJECT WILL CONSIST OF THE REMOVAL OF INTERIOR PARTITIONS, EXISTING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AND THE CONSTRUCTION OF NEW INTERIOR PARTITIONS AND UPGRADE OF THE EXTERIOR FINISHES, CONSTRUCTION OF NEW ENTRANCE LOBBY AND NEW MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.

ADDITIONAL NOTES:

- THIS IS A PACE ADULT DAY CARE /PRIMARY CARE CLINIC PROJECT UNDER OSHPD-3 CBC 1226.6 REQUIREMENTS.
- AS PER VERY HIGH FIRE HAZARD SEVERITY MAP, THIS PROJECT IS NOT LOCATED IN A FIRE HAZARD SEVERITY ZONE.
- EMERGENCY RESPONDER RADIO COVERAGE  
AS INDICATED PER CBC918.1 THIS BUILDING WILL BE EQUIPPED WITH EMERGENCY RESPONDER RADIO COVERAGE IN COMPLIANCE WITH SECTION 510 OF THE CALIFORNIA FIRE CODE.
- NURSE CALL DEVICES  
LOCATION OF ALL NURSE CALL DEVICES SHALL COMPLY WITH CBC TABLE 1224.4.6.5 AS SPECIFIED PER CBC 1226.4.2.5 AND 1224.4.6.5.
- THIS FACILITY IS NOT AN OUTPATIENT PHYSICAL THERAPY FACILITY NOR SPECIALIZES IN TREATING CONDITIONS THAT AFFECT MOBILITY. CBC 11B-208.2.2.

## PROJECT DIRECTORY

### BUILDING OWNER

CENTER FOR ELDERS' INDEPENDENCE  
510 17TH STREET,  
OAKLAND CA 94612  
CONTACT: VIC GELLON  
PHONE: (925) 200-7432  
EMAIL: vgellon@cei.com

### FACILITY OPERATOR

CENTER FOR ELDERS' INDEPENDENCE  
510 17TH STREET,  
OAKLAND CA 94612  
CONTACT: VIC GELLON  
PHONE: (925) 200-7432  
EMAIL: vgellon@cei.com

### ARCHITECT OF RECORD

RAYMOND FOX AND ASSOCIATES  
1660 HOTEL CIRCLE NORTH, STE 340  
SAN DIEGO, CA 92108  
CONTACT: CARLOS DELGADO  
PHONE: 619/296-4595  
EMAIL: carlos@raymondfox.com

### INTERIOR DESIGN

FS DESIGN GROUP  
1660 HOTEL CIRCLE NORTH, STE 330  
SAN DIEGO, CA 92108  
CONTACT: JILLIAN DENECROFF  
PHONE: 619/296-3500  
EMAIL: jillian@fsdesigngrp.com

### GENERAL CONTRACTOR

SKYLINE CONSTRUCTION  
505 SHAWNEE STREET, 7TH FLOOR,  
SAN FRANCISCO CA 94111  
CONTACT: DUSTIN KOWEN  
PHONE: (415) 471-7935  
EMAIL: dkomen@skylineconstruction.com

### MECHANICAL / PLUMBING

AWA  
870 MARKET STREET, STE 846  
SAN FRANCISCO CA 94102  
CONTACT: AMIT WADHWIA  
PHONE: (415) 788-9999  
EMAIL: amit@awast.com

### ELECTRICAL

AWA  
870 MARKET STREET, STE 846  
SAN FRANCISCO CA 94102  
CONTACT: AMIT WADHWIA  
PHONE: (415) 788-9999  
EMAIL: amit@awast.com

### CIVIL ENGINEER

BKF ENGINEERS  
150 CALIFORNIA STREET, SUITE 600  
SAN FRANCISCO CA 94111  
CONTACT: JAMES DALLOSTA  
PHONE: (650) 482-6414  
EMAIL: jdallostabkf.com

### STRUCTURAL ENGINEER

PARADIGM (Structural)  
639 FRONT STREET, 4TH FLOOR  
SAN FRANCISCO CA 94111  
CONTACT: KURT LINDORFER  
PHONE: (415) 699-4270  
EMAIL: kurlindorfer@paradigmse.com

### GEOTECHNICAL ENGINEER

ENGEQ  
751 13TH STREET  
SAN FRANCISCO CA 94130  
CONTACT: LEROY CHAN  
PHONE: (510) 717-7100  
EMAIL: lchan@engeo.com

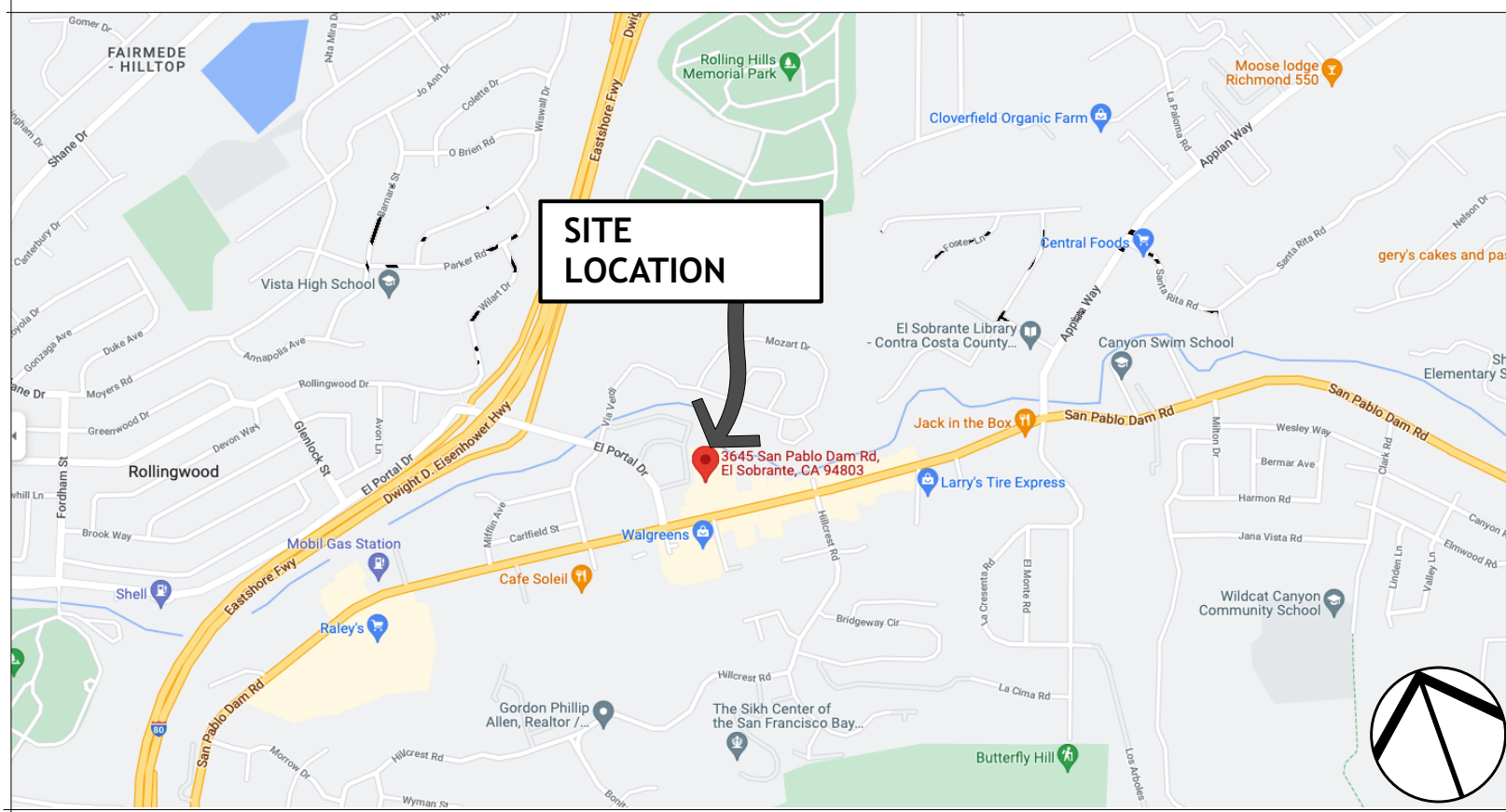
## CODE ENFORCING AGENCIES

THIS PROJECT TO COMPLY WITH THE CODES AND ORDINANCES ADOPTED BY THE CITY OF CONTRA COSTA CA CODES IN EFFECT FOR THIS PROJECT INCLUDE:  
THE 2022 EDITION OF THE CALIFORNIA BUILDING (CBC), CALIFORNIA FIRE CODE, CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBCS) WITH AUGUST 17, 2019 AND JULY 01, 2021 SUPPLEMENTS, PLUS JANUARY 01, 2020 ERRATA), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), AND CALIFORNIA ENERGY CODE (CENC). THE CBC IS BASED ON THE 2018 EDITIONS OF THE INTERNATIONAL BUILDING CODE, WHICH WAS PUBLISHED BY THE INTERNATIONAL CODE COUNCIL. THE CPC AND CMC ARE BASED ON THE 2018 EDITION OF THE UNIFORM PLUMBING AND MECHANICAL CODES, RESPECTIVELY, WHICH WERE PUBLISHED BY IAPMO. THE CEC IS BASED ON THE 2017 EDITION OF THE NATIONAL ELECTRIC CODE PUBLISHED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA).

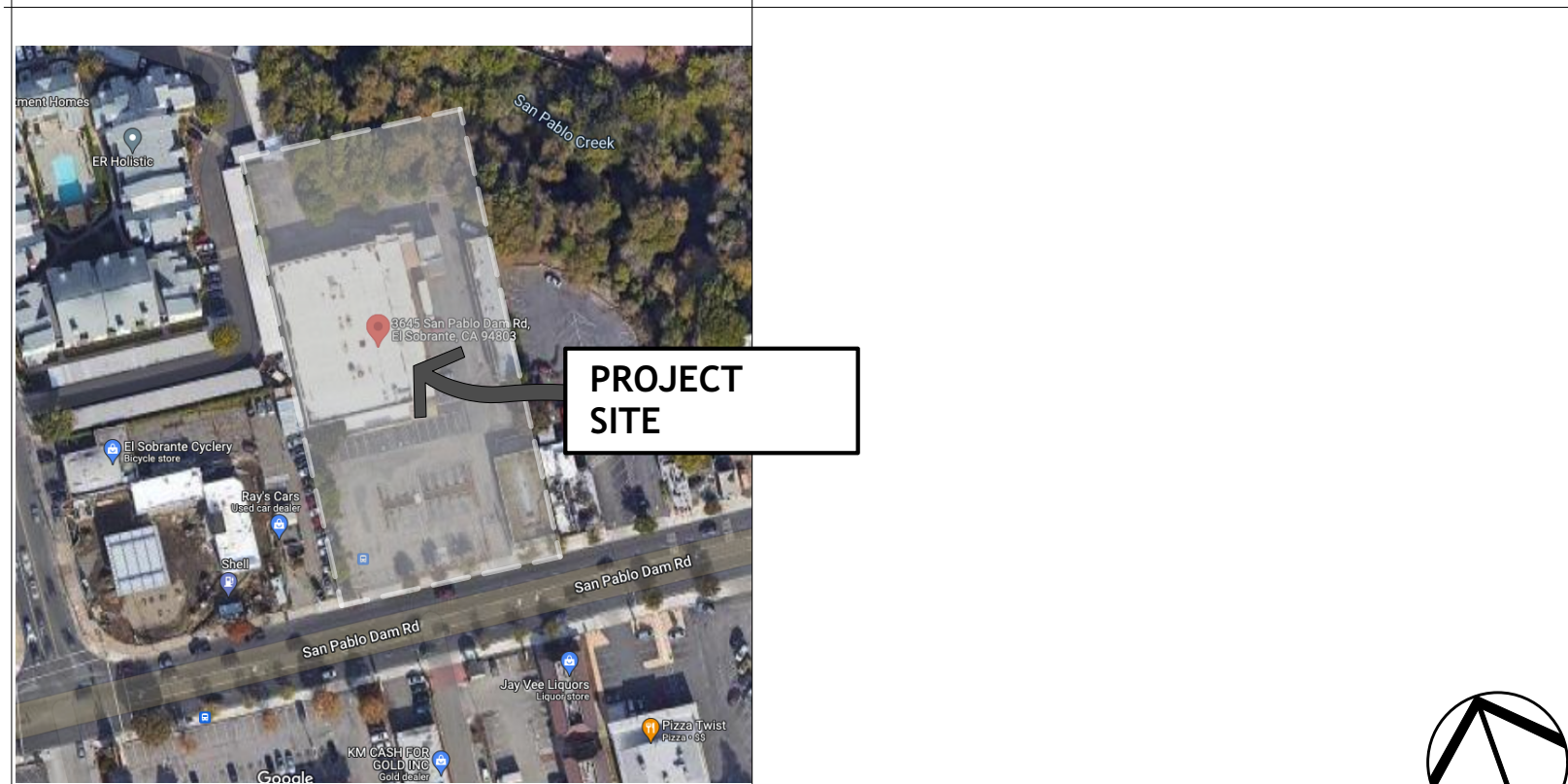
## DEFERRED SUBMITTALS

- FIRE SPRINKLER SYSTEM.
- EXTERIOR GLAZED STOREFRONT SYSTEMS DESIGN.
- GLASS GUARDRAIL SYSTEM DESIGN AND DETAILS.
- FIRE/SMOKE ALARM SYSTEM  
(AS PER CBC 907.5 THE FIRE ALARM SYSTEM IN A GROUP I-4 OCCUPANCY IS TO ACTIVATE THE OCCUPANT NOTIFICATION SYSTEM, PLUS THE AUTOMATIC SMOKE DETECTION SYSTEM SHALL ALSO ACTIVATE THE OCCUPANT NOTIFICATION SYSTEM IN ACCORDANCE WITH SECTIONS 907.2.6.2 AND 907.2.6.3.3.

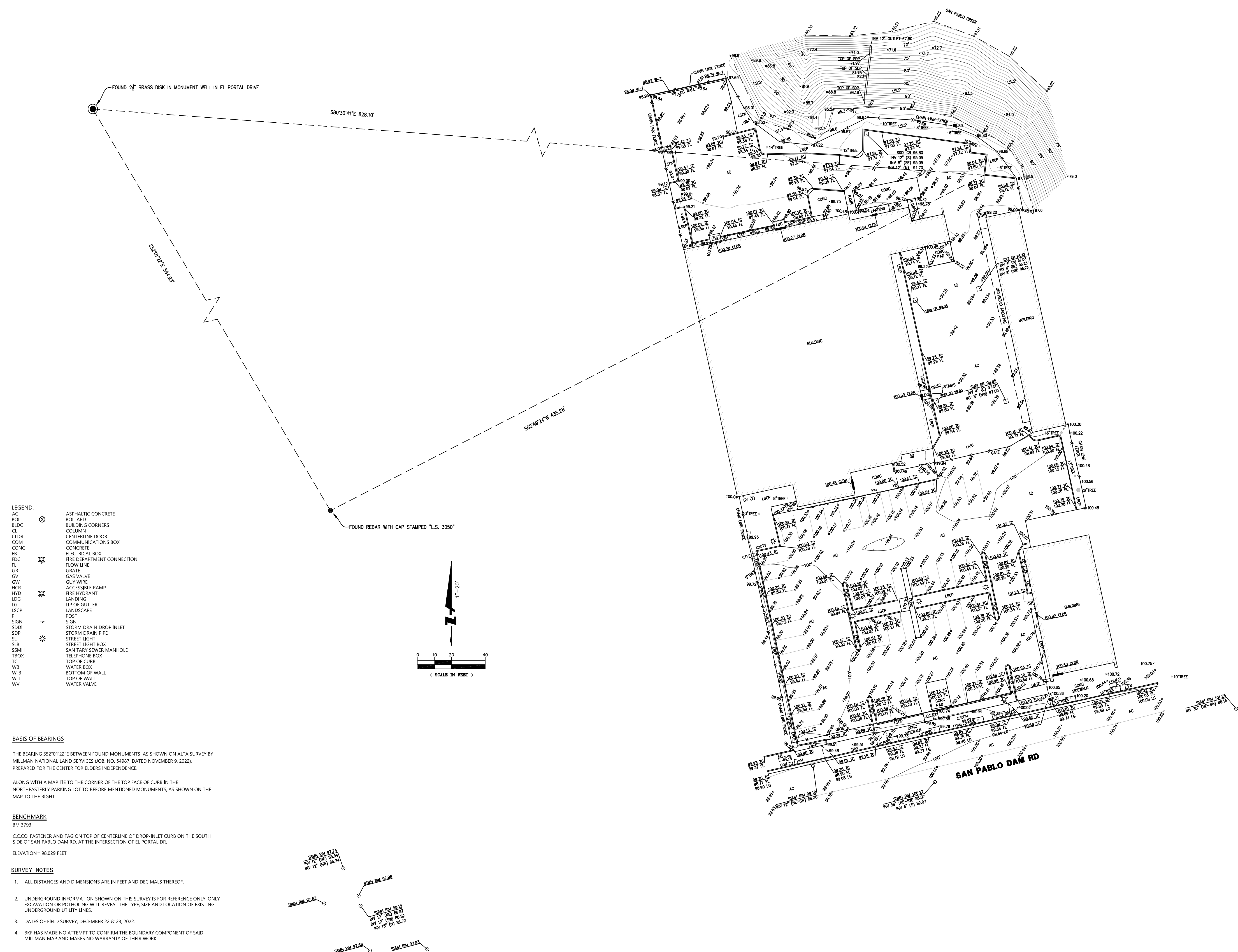
## LOCATION MAP



## VICINITY MAP







**BASIS OF SURVEY:**

THE BEARING, DISTANCE, & AREA BETWEEN FOUR CORNERS MONUMENTS, AS SHOWN ON A.D.A. SURVEY BY MILLMAN LAND SURVEYING, INC. NO. 54987, DATED NOVEMBER 8, 2021, PREPARED FOR THE CENTRAL FOR LANDS SERVICES JOINT.

**ALONG WITH A MAP TO THE CORNER OF THE TOP FACE OF CURB IN THE NORTHEASTERS PARKING LOT TO FURTHER MENTIONED MONUMENTS, AS SHOWN ON THE MAP TO THE RIGHT.**

**BENCHMARK**

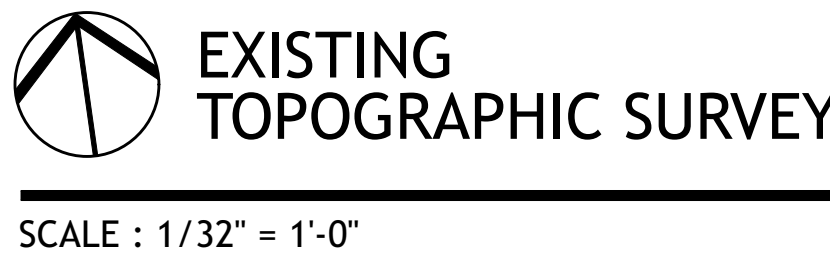
BM 1793

C.C.O. PATTERSON AND TAC ON TOP OF INTERSECTION OF DROP-BEAK CURB ON THE SOUTH SIDE OF LOS PASEO DEL MAR, AT THE INTERSECTION OF EL PORTAL DR.

ELEVATION = 58.023 FEET

**SURVEY NOTES**

1. ALL DISTANCES AND DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
2. UNDERGROUND INFORMATION SHOWN ON THE SURVEY IS FOR REFERENCE ONLY, ON DOCUMENTATION WILL REVEAL THE TYPE, SIZE, LOCATION AND OF EXISTING UNDERGROUND UTILITY LINES.
3. DATES OF FIELD SURVEY: DECEMBER 22 & 23, 2022.
4. BDF HAS MADE AN ATTEMPT TO CONFIRM THE BOUNDARY CORNERS OF S&B MILLMAN MAP AND MAKES NO WARRANTY OF THEIR WORK.





FIRST AMERICAN TITLE INSURANCE COMPANY  
COMMITMENT NO. NCS-1146854-SC - SCHEDULE A, EXHIBIT A:

The Land referred to herein below is situated in an Unincorporated Area in the County of Contra Costa, State of California, and is described as follows:

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EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED TO THE CONTRA COSTA COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF CALIFORNIA, IN GRANT DEED RECORDED OCTOBER 21, 2014 AS INSTRUMENT NO. 2014-181732 OF OFFICIAL RECORDS.

APN 420-021-047-6

FIRST AMERICAN TITLE INSURANCE COMPANY  
COMMITMENT NO. NCS-1146854-SC - SCHEDULE B, SECTION II:

Numbers correspond with survey-related Schedule B exception items contained in the above referenced Title Commitment.

- Any easement for water course over that portion of said land lying within the banks of San Pablo Creek and any changes in the boundary lines of said land that have occurred or may hereafter occur from natural causes.  
(DOES NOT AFFECT THE SUBJECT PROPERTY)
- Abutter's rights of ingress and egress to or from San Pablo Dam Road, excepting therefrom the two driveway openings, one 21.00 feet in width and one 28.00 feet in width have been relinquished in the document recorded January 13, 1984 in Book 11611, Page 448 of Official Records.  
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

MISCELLANEOUS NOTES:

- There is direct access to the subject property via San Pablo Dam Road, a public right-of-way.
- The locations of all utilities shown on the survey are from visible surface evidence only.
- The posted address on site is 3711 San Pablo Dam Road, 3645 San Pablo Dam Road, El Sobrante, CA 94803.
- At the time of this survey, there was no observable surface evidence of earth moving work, building construction or building additions within recent months.
- At the time of this survey, there was no observable evidence of the subject property being used as a solid waste dump, sump or sanitary landfill.
- At the time of this survey, there was no observable evidence of any recent changes in street right-of-way lines either completed or proposed, and available from the controlling jurisdiction.
- At the time of this survey, there was no observable evidence of any recent street or sidewalk construction or repairs.
- The Property surveyed and shown hereon is the same property described in Schedule A of First American Title Insurance Company Title Commitment No. NCS-1146854-SC with an effective date of September 23, 2022, updated September 27, 2022.
- At the time of the survey, no party walls were observed.
- There are no appurtenant easements listed in the above referenced title commitment.
- Professional Liability Insurance Policy obtained by the Millman National Land Services in the minimum amount of \$3,000,000 to be in effect throughout the contract term. Certificate of insurance to be furnished upon request.

BASIS OF BEARING:

The basis for all bearings shown hereon is the Southeast line of the subject property, being the Northwest line of Parcel 3-Free Title, known as being N 77°13'10" E, per Instrument No. 2014-181732 of Official Records, County of Contra Costa, State of California.

SURVEYOR'S OBSERVATIONS:

- Chain link fence appears to lie a minimum distance of 0.6 feet and a maximum distance of 1.1 feet over North property line.
- Chain link fence appears to lie a maximum distance of 1.5 feet over East property line.
- Chain link fence appears to lie a maximum distance of 0.8 feet over East property line.

ZONING:

Zoning Classification: (CO) Commercial

Minimum Building Setbacks:

Front=10' from existing road or highway

Side=0'

Street Side=10'

Rear=0'

Maximum Building Height: 50'

Parking Ratio: N/A

SOURCE:

This zoning information is taken from a zoning report compiled by Millman National Land Services under Project No. MZ# 21355, dated November 4, 2022.

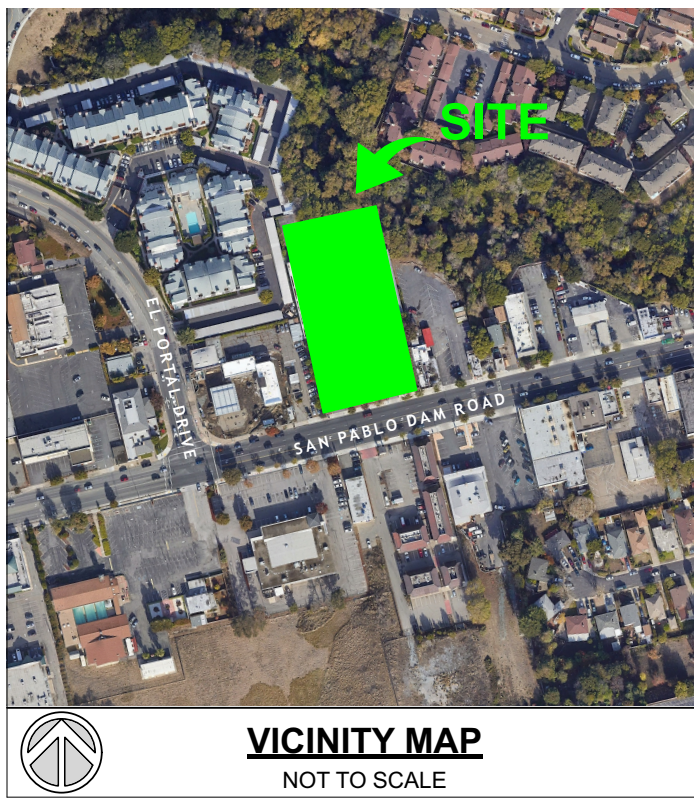
FLOOD ZONE:

By scaled map location and graphic plotting only, the subject property appears to lie partially in Zone X-Unshaded (Areas determined to be outside the 0.2% annual chance floodplain.), partially in Zone A (Special Flood Hazard Area; No base flood elevations determined.) according to the Flood Insurance Rate Map for the County of Contra Costa, State of California, Community Panel No. 06013C0229H, Effective Date March 21, 2017.



PARKING:  
65 Parking Spaces  
3 Handicapped Spaces  
68 Total Parking Spaces

TOTAL LAND AREA:  
79,345 Square Feet  
1.822 Acres



SYMBOL LEGEND

- |       |                                  |
|-------|----------------------------------|
| R/W   | - Right-of-Way                   |
| P/L   | - Adjoiner Property Line         |
| C/L   | - Centerline                     |
| ⊙     | - Monumentation Found as Noted   |
| Calc. | - Calculated                     |
| Rec.  | - Record                         |
| R1    | - Instrument No. 2014-161732     |
| A     | - Surveyor's Observation         |
| ⊙     | - Schedule B-Section II Item     |
| ○     | - No. of Regular Parking Spaces  |
| ○     | - No. of Handicap Parking Spaces |
| ●     | - Catch Basin                    |
| ●     | - Sanitary Manhole               |
| ●     | - Water Stand Pipe               |
| ●     | - Fire Hydrant                   |
| ●     | - Irrigation Control Valve       |
| ●     | - Water Meter                    |
| ●     | - Water Vault                    |
| ●     | - Gas Meter                      |
| ●     | - Cable TV Vault                 |
| ●     | - Electric Vault                 |
| ●     | - Utility Vault                  |
| ●     | - Handicap Space                 |
| ●     | - Light Pole                     |
| ●     | - Chain Link Fence (As Noted)    |
| ●     | - Steel Fence (As Noted)         |
| ●     | - Wall (As Noted)                |
| ●     | - No Parking Area                |
| ●     | - Building Area                  |

CERTIFICATION:

To: Center for Elders Independence, a California Public Benefit Nonprofit Corporation, First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 13, 14, 16, 17, 18 (depicted) and 19 of Table A thereof. The field work was completed on October 14, 2022.

Date of Plat or Map: November 10, 2022.

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Professional Land Surveyors Act at the request of Center for Elders' Independence on October 6, 2022.

By:  
S. Craig Davis, PLS  
Licensed Land Surveyor No. 6262  
within the State of California  
For and on behalf of Millman Surveying, Inc.

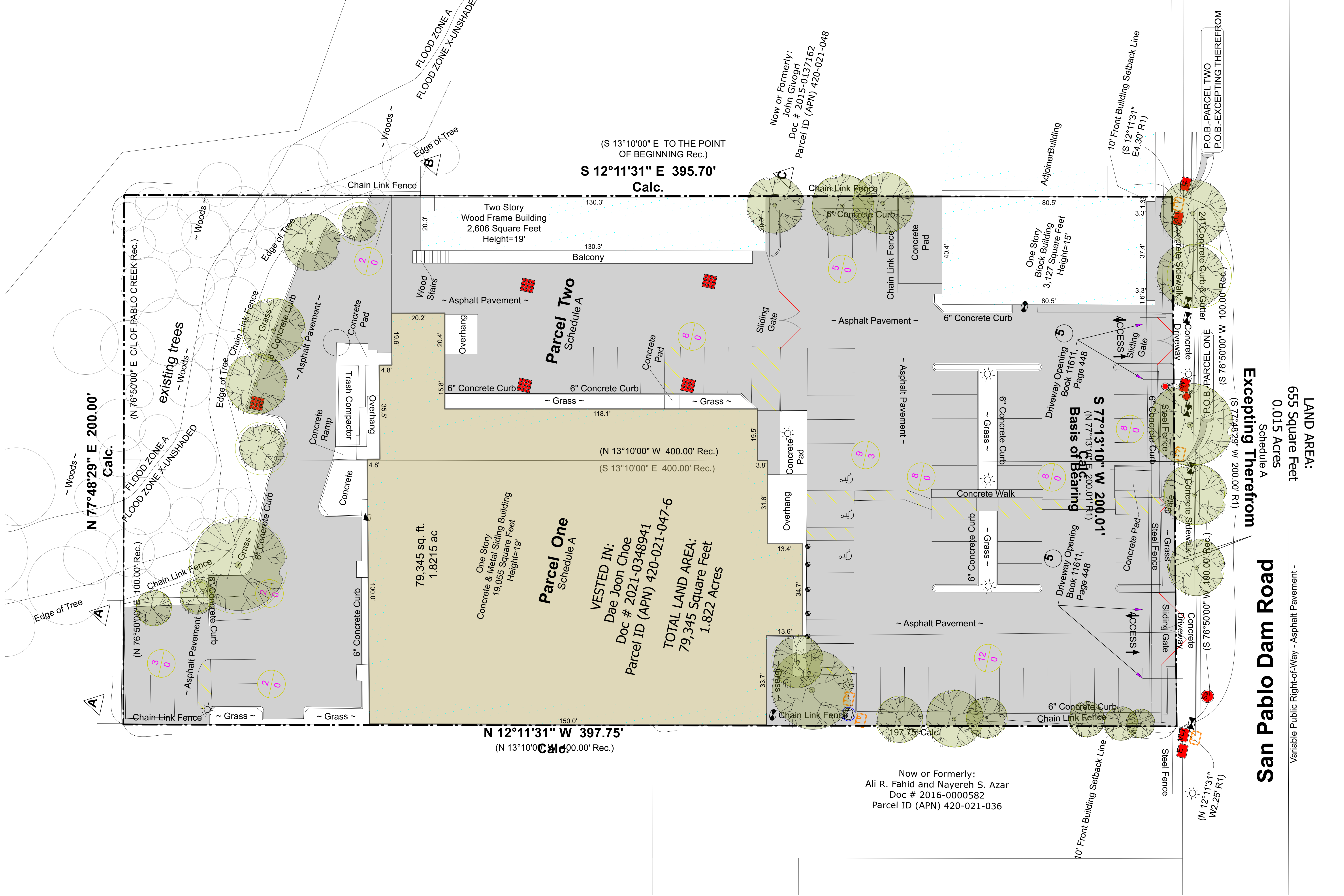
REVISION HISTORY

BY:	DATE:	COMMENT:
ESM	11/09/2022	CLIENT COMMENTS/ZONING



SCALE : 1/32" = 1'-0"





San Pablo Dam Road

Excepting Therefrom

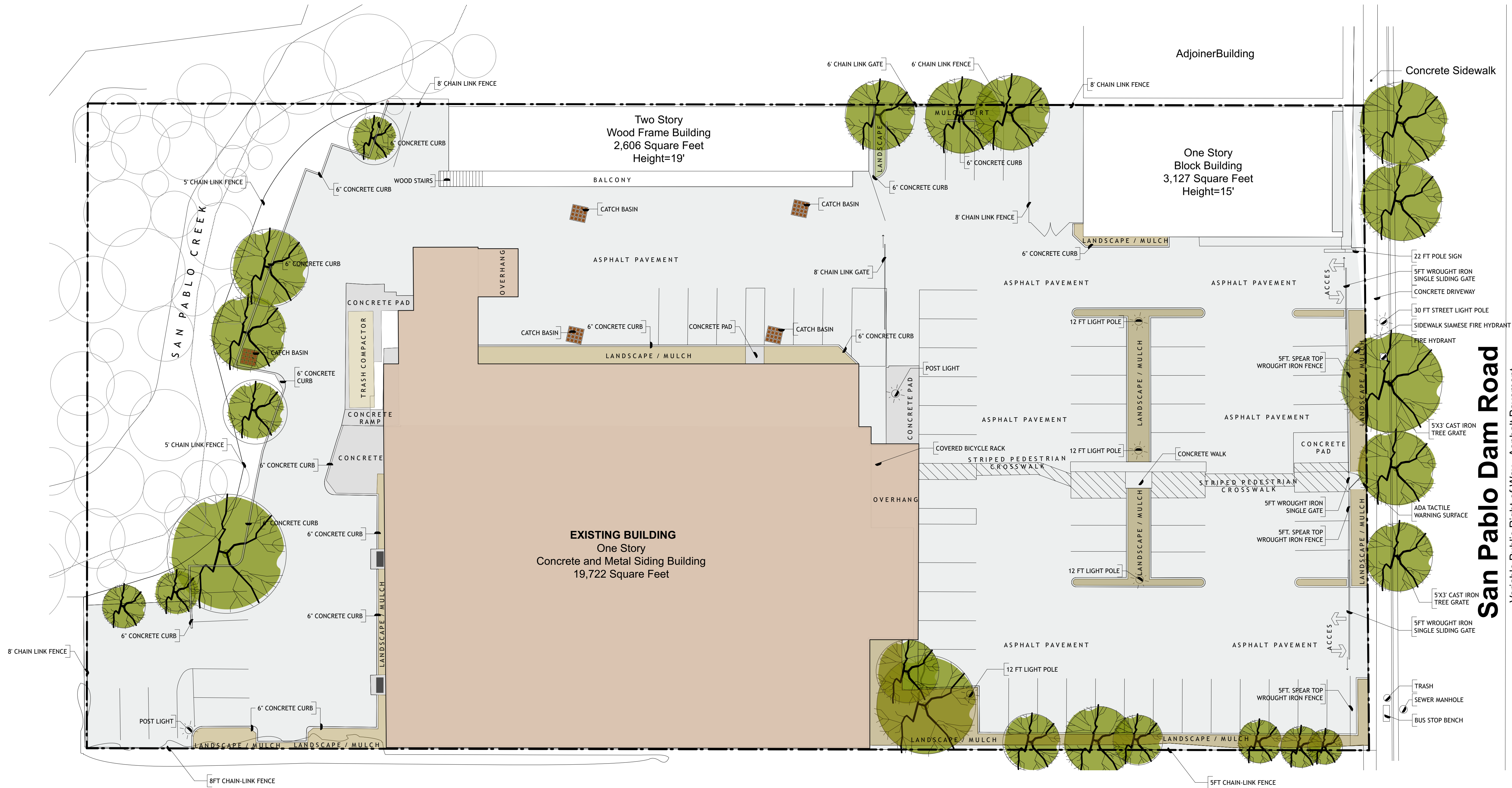
LAND AREA:  
655 Square Feet  
0.015 Acres

Variable Public Right-of-Way - Asphalt Pavement -

SYMBOL LEGEND	
R/W	- Right-of-Way
P/L	- Adjoiner Property Line
C/L	- Centerline
○	- Monumentation Found as Noted
Calc.	- Calculated
Rec.	- Record
R1	- Instrument No. 2014-181732
A	- Surveyor's Observation
X	- Schedule B-Section II Item
	- No. of Regular Parking Spaces
	- No. of Handicap Parking Spaces
●	- Catch Basin
●	- Sanitary Manhole
●	- Water Stand Pipe
●	- Fire Hydrant
●	- Irrigation Control Valve
●	- Water Meter
●	- Water Vault
●	- Gas Meter
●	- Cable TV Vault
●	- Electric Vault
●	- Utility Vault
●	- Handicap Space
●	- Light Pole
X	- Chain Link Fence (As Noted)
○	- Steel Fence (As Noted)
▨	- Wall (As Noted)
▨	- No Parking Area
▨	- Building Area

EXISTING ALTA LAND SURVEY  
SCALE : 1/16" = 1'-0"





EXISTING SITE PLAN  
SCALE : 1/16" = 1'-0"

REVISIONS :	NO. 13-2018 PLAN CHECK CORRECTIONS
1	
2	
3	
4	
5	
PROJECT NUMBER:	22.035

PROFESSIONAL STAMPS :



DRAWN BY :  
  
DATE ISSUED :  
JANUARY 17/2023

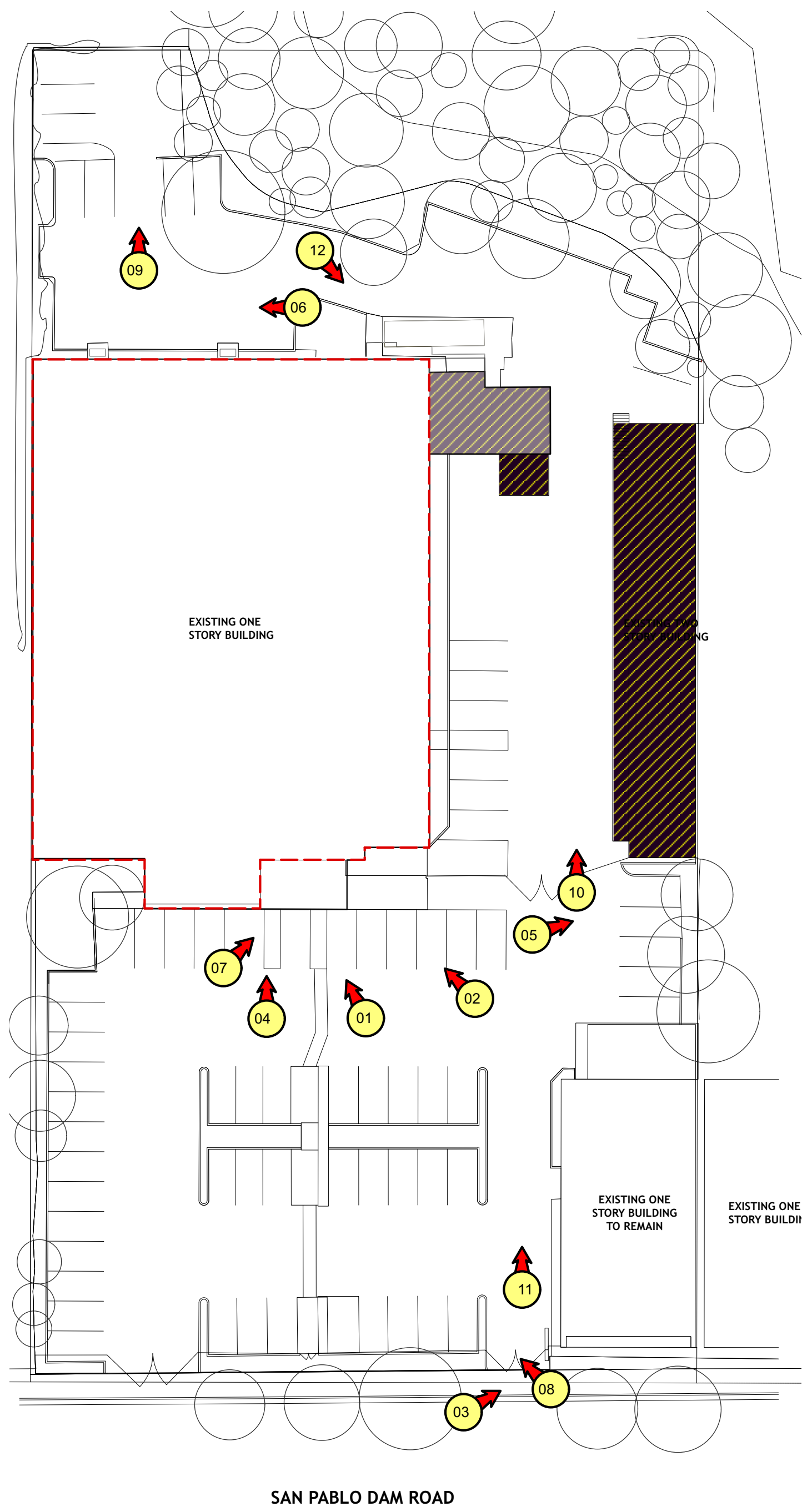
SHEET NUMBER:  
**ASP1**





EXISTING STRUCTURE  
TO BE REMOVED REFER TO  
DEMOLITION SITE PLAN SHEET  
ASP4

EXISTING STRUCTURE  
TO BE REMOVED REFER TO  
DEMOLITION SITE PLAN SHEET  
ASP4



EXISTING SITE  
PLAN INFORMATION  
SCALE : N.T.S.





13

EXISTING STRUCTURE  
TO BE REMOVED REFER TO  
DEMOLITION SITE PLAN SHEET  
ASP4

14

EXISTING STRUCTURE  
TO BE REMOVED REFER TO  
DEMOLITION SITE PLAN SHEET  
ASP4

15

EXISTING STRUCTURE  
TO BE REMOVED REFER TO  
DEMOLITION SITE PLAN SHEET  
ASP4

EXISTING STRUCTURE  
TO BE REMOVED REFER TO  
DEMOLITION SITE PLAN SHEET  
ASP4

16

17

18

19

REVISIONS	BY	DATE	DESCRIPTION
1	RF	7-31-23	REVISED PLAN CHECK CORRECTIONS
2	RF	7-31-23	
3	RF	7-31-23	
4	RF	7-31-23	
5	RF	7-31-23	

PROJECT NUMBER:  
ZZ-035

PROFESSIONAL  
STAMPS :

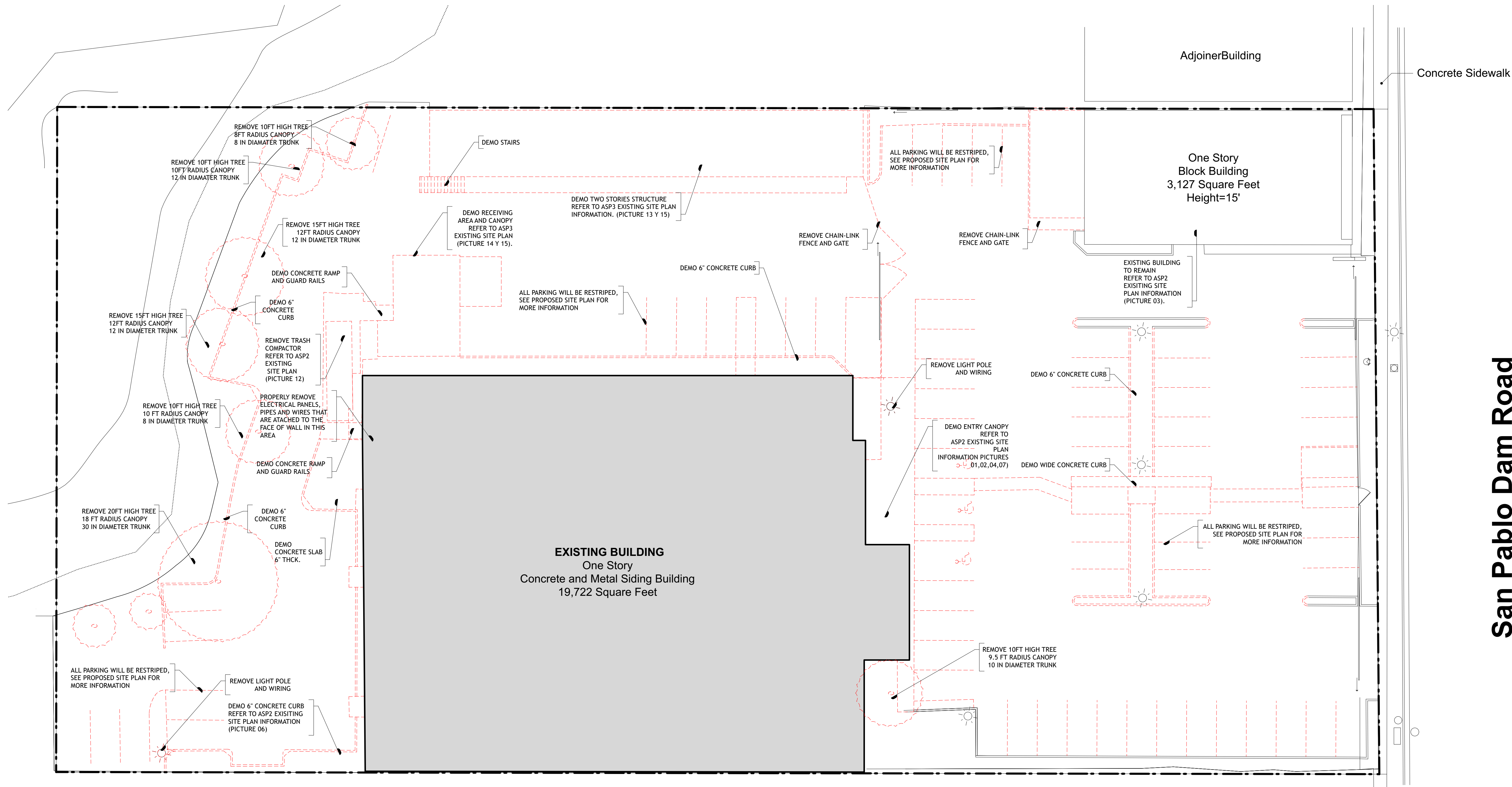


DRAWN BY :

DATE ISSUED :  
JANUARY 17/2023

SHEET NUMBER:  
**ASP3**



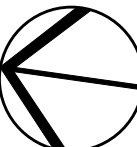


## San Pablo Dam Road

Variable Public Right-of-Way - Asphalt Pavement -

### DEMOLITION NOTES:

1. ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" SO AS TO PREVENT THE UNNECESSARY DESTRUCTION AND/OR DAMAGE TO SYSTEMS THAT SHALL REMAIN IN OPERATION AT THE CONCLUSION OF THIS WORK. DETERMINE THE EXACT LOCATION OF ALL EXISTING EQUIPMENT, DEVICES AND WIRING BEFORE COMMENCING WORK.
2. LOCATE AND PRESERVE ALL PORTIONS OF THE EXISTING HVAC SYSTEMS WHICH SHALL REMAIN.
3. CONTROLS DEVICES AND WIRING ARE NOT SHOWN ON THE DEMOLITION PLAN AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING HVAC DEVICES, EQUIPMENT, AND WIRING BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT OCCUR BECAUSE OF THE CONTRACTORS FAILURE TO ACCURATELY DISCOVER, LOCATE, AND PROTECT ANY AND ALL PORTIONS OF THE EXISTING HVAC SYSTEM.
5. EXISTING DUCTWORK AND CONTROLS WIRING MAY BE RE-USED WHERE THEY ARE OF THE TYPE SPECIFIED, MEET THE REQUIREMENTS FOR THE NEW WORK AS DEFINED BY THE CONTRACT DOCUMENTS, AND REMAIN IN GOOD CONDITION.
6. REMOVE AND RE-INSTALL (OR PROTECT IN PLACE) ALL EXISTING EQUIPMENT AND DEVICES TO REMAIN ON OR IN WALLS, CEILINGS AND FLOORS WHICH SHALL BE EXPOSED TO DEMOLITION AND CONSTRUCTION ACTIVITIES AND WHICH MAY BE DAMAGED BY DUST, DEBRIS, ETC.
7. WHERE EXISTING EQUIPMENT AND DEVICES SHALL BE REMOVED, THE CONTRACTOR SHALL REMOVE ALL THE ASSOCIATED DUCTWORK, PIPING, AND CONTROLS THAT SHALL NOT REMAIN IN OPERATION BACK TO THEIR RESPECTIVE SOURCE OR TO THE POINT ON A SHARED SYSTEM FROM WHERE THE EQUIPMENT OR DEVICE IS SERVED.
8. RELOCATE AS NECESSARY ALL EXISTING DUCTWORK, PIPING, AND CONTROLS FOUND PASSING THROUGH THE AREA OF CONSTRUCTION, AND WHICH ARE PRESENTLY IN USE OTHER PORTIONS OF THE BUILDING UNAFFECTED BY THIS PROJECT PHASE. TO MAINTAIN THE CONTINUITY OF SERVICES AND GROUNDING, AND TO CONCEAL THEM ABOVE NEW CEILINGS.
9. ALL EXISTING DAMAGED DUCTWORK, GRILLES, AND DEVICES WITHIN THE AREA OF CONSTRUCTION AND SHOWN TO REMAIN IN OPERATION SHALL BE REPLACED WITH NEW MATERIALS CONFORMING TO THESE CONTRACT DOCUMENTS AT NO COST TO OWNER.
10. ALL EQUIPMENT, DEVICES, AND MATERIALS REMOVED DURING DEMOLITION WORK AND NOT INDICATED TO BE REUSED OR TURNED OVER TO THE OWNER SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR FOR DISPOSAL.
11. THE CONTRACTOR SHALL PROVIDE ALL CUTTING AND PATCHING NECESSARY TO REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES PERFORMED BY THE CONTRACTOR. THIS WORK INCLUDES AREAS OUTSIDE ANY LIMITS OF CONSTRUCTION LINES SHOWN ON THE DRAWINGS.

 SITE DEMOLITION PLAN  
SCALE : 1/16" = 1'-0"

PROJECT NAME :

SHEET TITLE

REVISIONS :	1	2	3	4	5
06/13/2018	PLAN CHECK CORRECTIONS				

PROJECT NUMBER:  
22.035

PROFESSIONAL  
STAMPS :

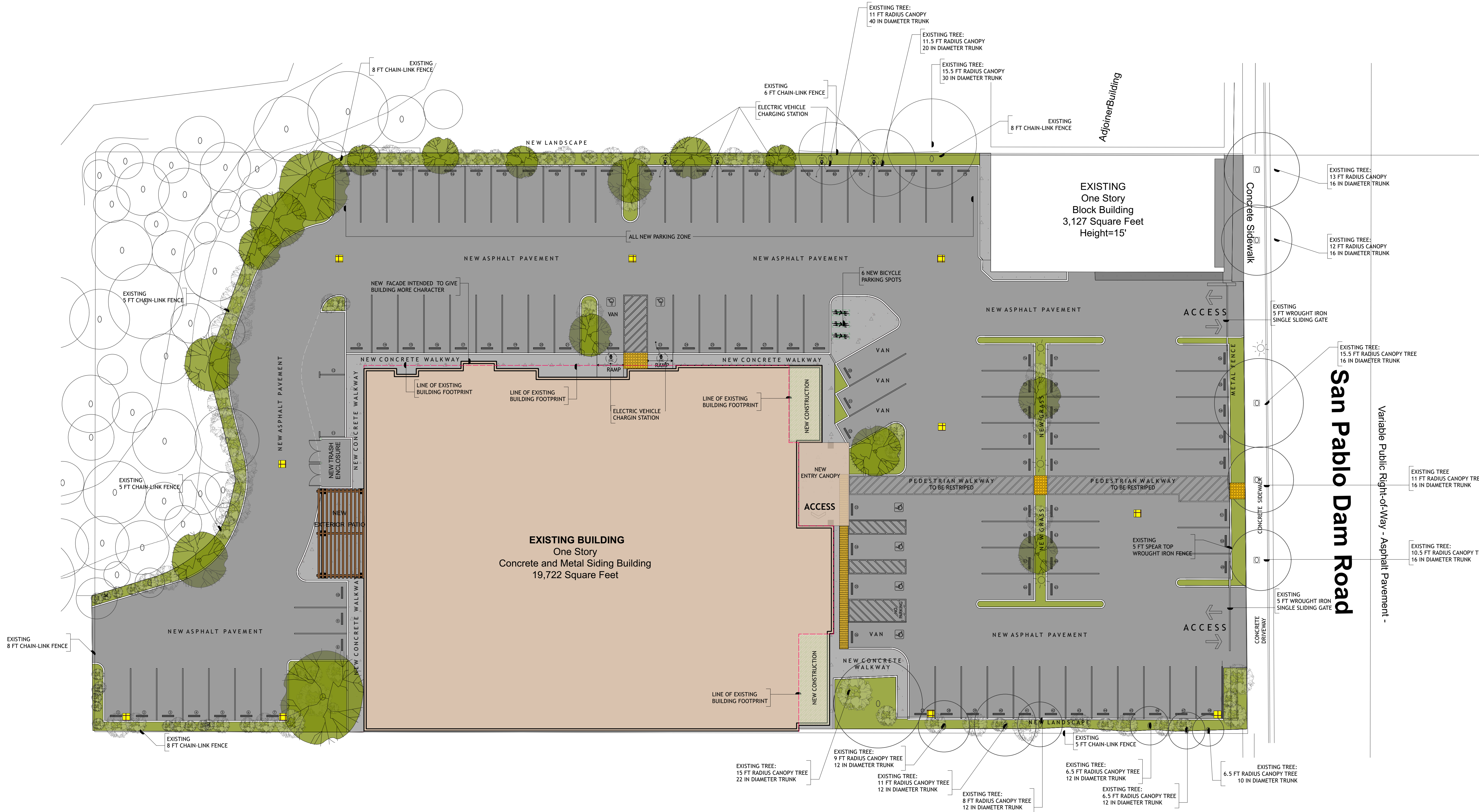


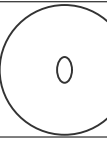


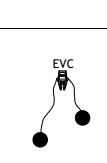
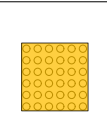
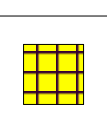
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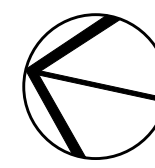
DATE ISSUED :  
JANUARY 17/2023

SHEET NUMBER:  
**ASP4**





PROJECT DESCRIPTION					
TENANT IMPROVEMENT MEDICAL OFFICE BUILDING ONE STORY ABOVE GRADE PLANE					
PROPOSED BUILDING AREA					
OCCUPIED FLOOR AREA					
LEVEL	B	I-4	TOTAL		
1ST FLOOR	2,052 SF	17,670 SF	19,722 SF		
PROPOSED PARKING ANALYSIS					
1ST FLOOR		OCCUPIED FLOOR AREA			
PARKING REQUIRED (PER TITLE 9/LAND USE CODE SECTION 90402.00-90402.15)		2,052 SF (ADMINISTRATIVE AREA)			
OFF-STREET PARKING REQUIREMENTS:		1 SPACE PER 200 SF = 8 SPACES			
1/250 SF @ ADMINISTRATIVE		17,670 SF (CLINIC/ADULT DAY CARE AREA)			
1/200 SF @ CLINIC/ADULT DAY CARE		1 SPACE PER 200 SF = 88 SPACES			
TOTAL SPACES REQUIRED		96 SPACES			
TOTAL SPACES PROVIDED		96 SPACES			
ADA PARKING REQUIRED (PER 2019 CBC/TABLE 11-B-208.2)		FROM 76-100 PARKING SPACES = 4 ADA SPACES INCLUDING 1 VAN ACCESSIBLE SPACE			
ADA PARKING PROVIDED		4 ADA SPACES INCLUDING 1 VAN ACCESSIBLE SPACE			
CLEAN AIR VEHICLE PARKING		12% OF 96 SPACES = 12 SPACES			
CLEAN AIR VEHICLE/VANPOOL PARKING REQUIRED (PER 2019 CGBS/TABLE 5.106.5.2)		NOTE: EV CHARGING/PARKING SPACES ARE CONSIDERED CLEAN AIR VEHICLE PARKING SPACES			
EV VEHICLE PARKING		10% OF 96 SPACES = 10 SPACES			
EV VEHICLE/CHARGING PARKING REQUIRED (PER 2019 CGBS/TABLE 5.106.5.3.3)		VAN ACCESSIBLE = 1 SPACE STD ACCESSIBLE = 1 SPACE			
CHARGING ONLY NO-PARKING SPACES		TOTAL = 2 SPACES			
NO-PARKING EV VEHICLE CHARGING ONLY SPACES REQUIRED (PER 2019 TABLE 11B-228.3.2.1)		TOTAL = 2 SPACES			
LONG TERM BICYCLE PARKING		5% OF 96 SPACES = 5 SPACES			
LONG TERM BICYCLE PARKING REQUIRED (PER 2019 CGBS/TABLE 5.106.4.1.4)					
LEGEND					
	EXISTING TREE TO REMAIN				
	NEW TREE PLANTED (SPECIES TO BE DETERMINED)				
	NEW BUSHES PLANTED (SPECIES TO BE DETERMINED)				
	ALL NEW ELECTRIC VEHICLE CHARGING STATION				
	NEW TRUNCATED DOMES				
	NEW DRAIN SYSTEM LOCATION PROPOSED				

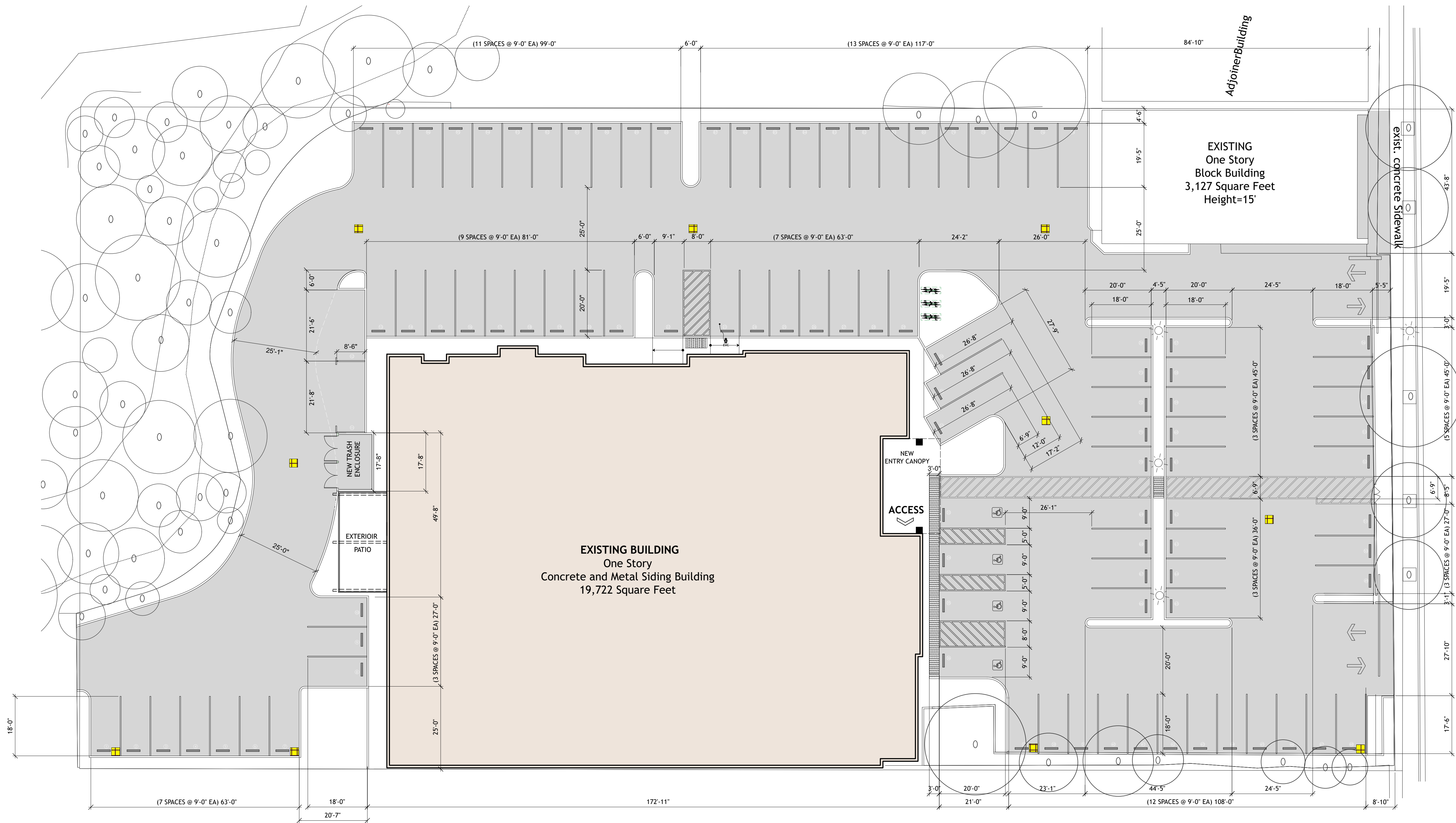
 PROPOSED SITE PLAN  
SCALE : 1/16" = 1'-0"

PROJECT NAME :  
P.A.C.E. (PROGRAM OF ALL INCLUSIVE CARE FOR THE ELDERLY)/PRIMARY CARE CLINIC  
3645 SAN PABLO DAM ROAD, EL SOBRANTE CALIFORNIA 94803  
SHEET TITLE  
PROPOSED SITE PLAN

REVISIONS :  
01-12-2018 PLAN CHECK CORRECTIONS  
PROJECT NUMBER:  
22.035

PROFESSIONAL STAMPS :  
  
DRAWN BY :  
DATE ISSUED :  
JANUARY 17/2023  
SHEET NUMBER:  
ASP5





## San Pablo Dam Road

Variable Public Right-of-Way - Asphalt Pavement -

PROJECT DESCRIPTION			
TENANT IMPROVEMENT MEDICAL OFFICE BUILDING ONE STORY ABOVE GRADE PLANE			
PROPOSED BUILDING AREA			
OCCUPIED FLOOR AREA			
LEVEL	OCCUPANCY TYPE/SF		TOTAL
	B	I-4	
1RST FLOOR	2,052 SF	17,670 SF	19,722 SF
PROPOSED PARKING ANALYSIS			
1RST FLOOR		OCCUPIED FLOOR AREA	
PARKING REQUIRED (PER TITLE 9/LAND USE CODE SECTION 90402.00-90402.15)		2,052 SF (ADMINISTRATIVE AREA)	
OFF-STREET PARKING REQUIREMENTS:		1 SPACE PER 250 SF = 8 SPACES	
1/250 SF @ ADMINISTRATIVE		17,670 SF (CLINIC/ADULT DAY CARE AREA)	
1/200 SF @ CLINIC/ADULT DAY CARE		1 SPACE PER 200 SF = 88 SPACES	
TOTAL SPACES REQUIRED		96 SPACES	
TOTAL SPACES PROVIDED		96 SPACES	
ADA PARKING REQUIRED (PER 2019 CBC/TABLE 11B-208.2)		FROM 76-100 PARKING SPACES = 4 ADA SPACES INCLUDING 1 VAN ACCESSIBLE SPACE	
ADA PARKING PROVIDED		4 ADA SPACES INCLUDING 1 VAN ACCESSIBLE SPACE	
CLEAN AIR VEHICLE PARKING			
CLEAN AIR VEHICLE/VANPOOL PARKING REQUIRED (PER 2019 CGBS/TABLE 5.106.5.2)		12% OF 96 SPACES = 12 SPACES	
EV VEHICLE PARKING		NOTE: EV CHARGING/PARKING SPACES ARE CONSIDERED CLEAN AIR VEHICLE PARKING SPACES	
EV VEHICLE/CHARGING PARKING REQUIRED (PER 2019 CGBS/TABLE 5.106.5.3.3)		10% OF 96 SPACES = 10 SPACES	
CHARGING ONLY NO-PARKING SPACES			
NO-PARKING EV VEHICLE CHARGING ONLY SPACES REQUIRED (PER 2019 TABLE 11B-228.3.2.1)		VAN ACCESSIBLE = 1 SPACE STD ACCESSIBLE = 1 SPACE	
LONG TERM BICYCLE PARKING		TOTAL = 2 SPACES	
LONG TERM BICYCLE PARKING REQUIRED (PER 2019 CGBS/TABLE 5.106.4.1.4)		5% OF 96 SPACES = 5 SPACES	

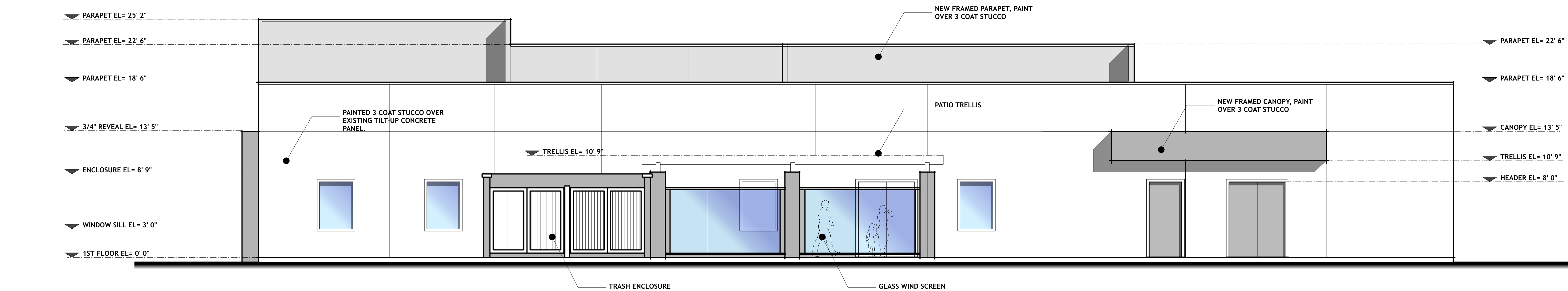
LEGEND	
	EXISTING TREE TO REMAIN
	NEW TREE PLANTED (SPECIE TO BE DETERMINED)
	NEW BUSHES PLANTED (SPECIE TO BE DETERMINED)
	ALL NEW ELECTRIC VEHICLE CHARGING STATION
	NEW TRUNCATED DOMES
	NEW DRAIN SYSTEM LOCATION PROPOSED

PROPOSED SITE DIMENSIONS PLAN  
SCALE : 1/16" = 1'-0"

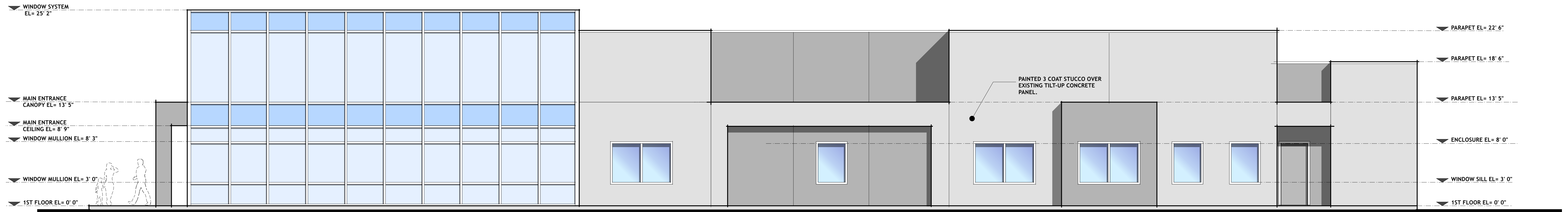




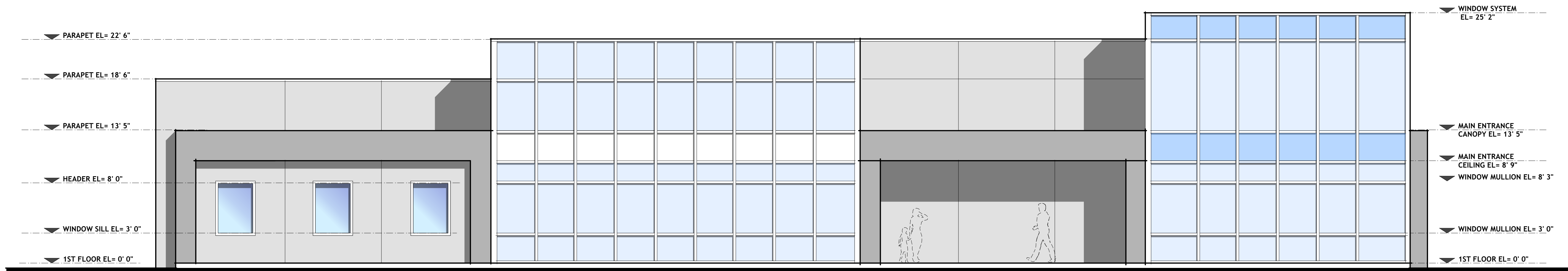




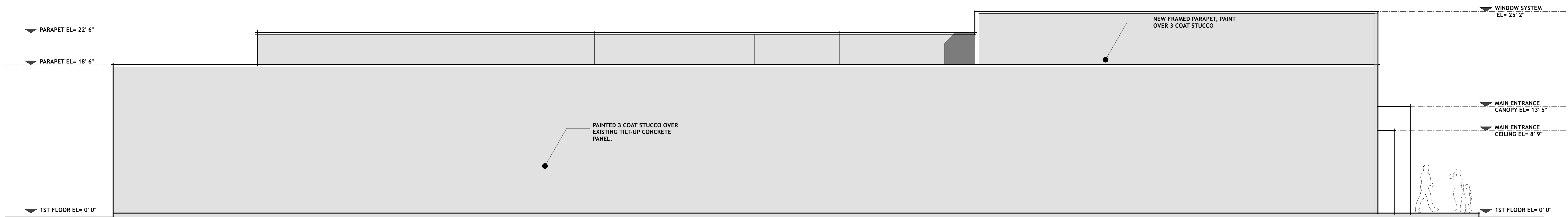
**A** PROPOSED  
EXTERIOR ELEVATION  
SCALE : 3/32" = 1'-0"



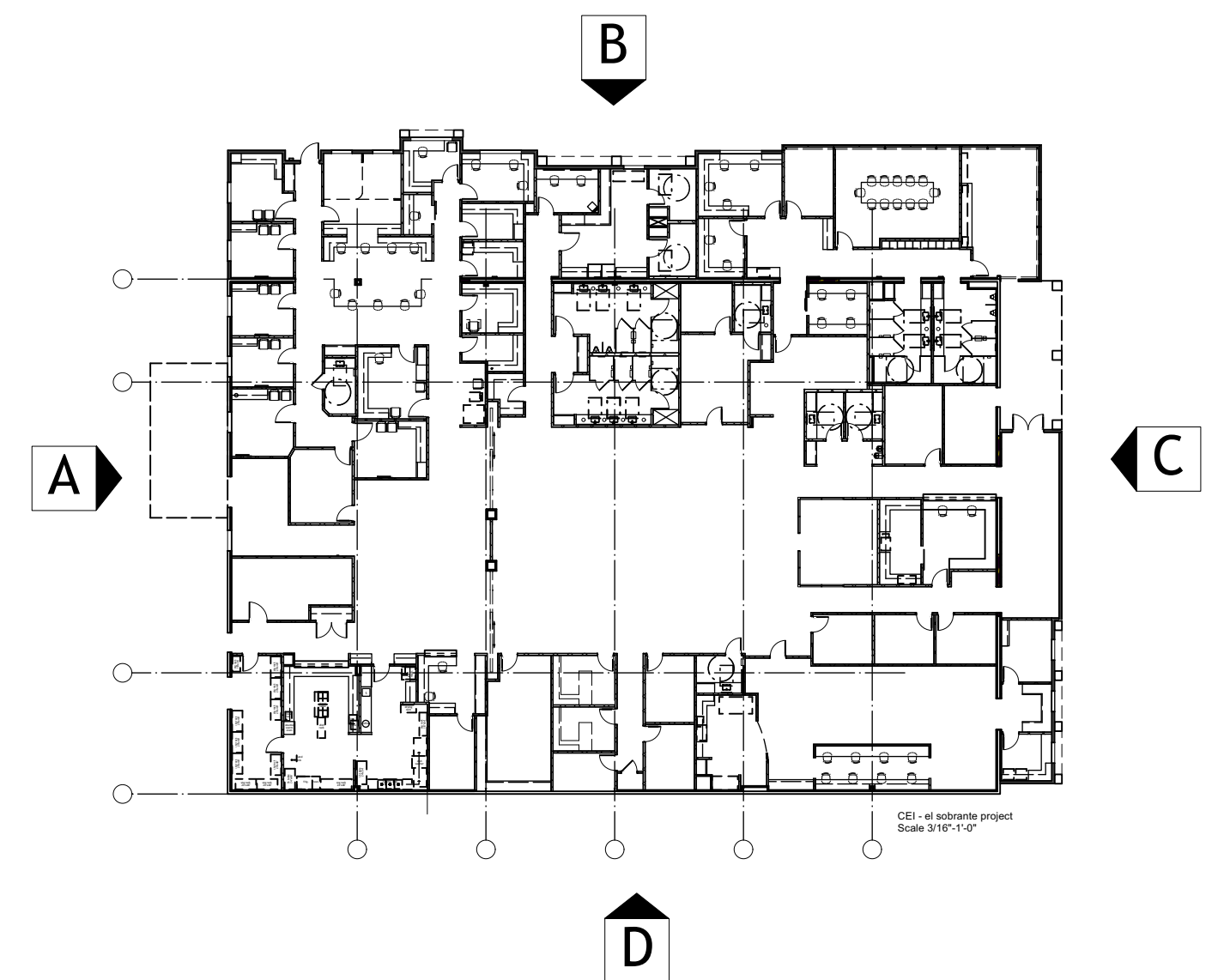
**B** PROPOSED  
EXTERIOR ELEVATION  
SCALE : 3/32" = 1'-0"



**C** PROPOSED  
EXTERIOR ELEVATION  
SCALE : 3/32" = 1'-0"



**D** PROPOSED  
EXTERIOR ELEVATION  
SCALE : 3/32" = 1'-0"

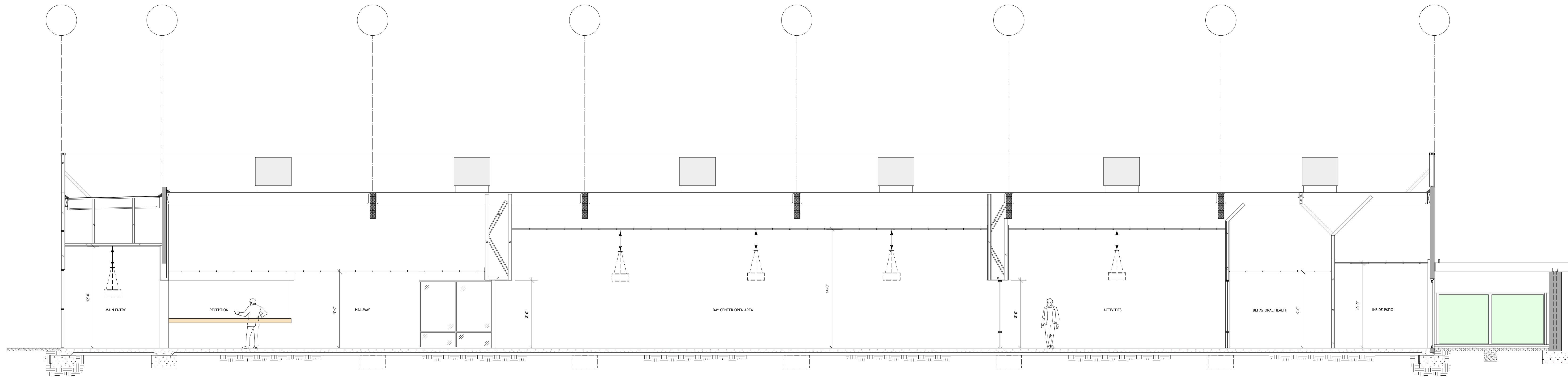


**PROPOSED EXTERIOR  
ELEVATIONS KEY PLAN**

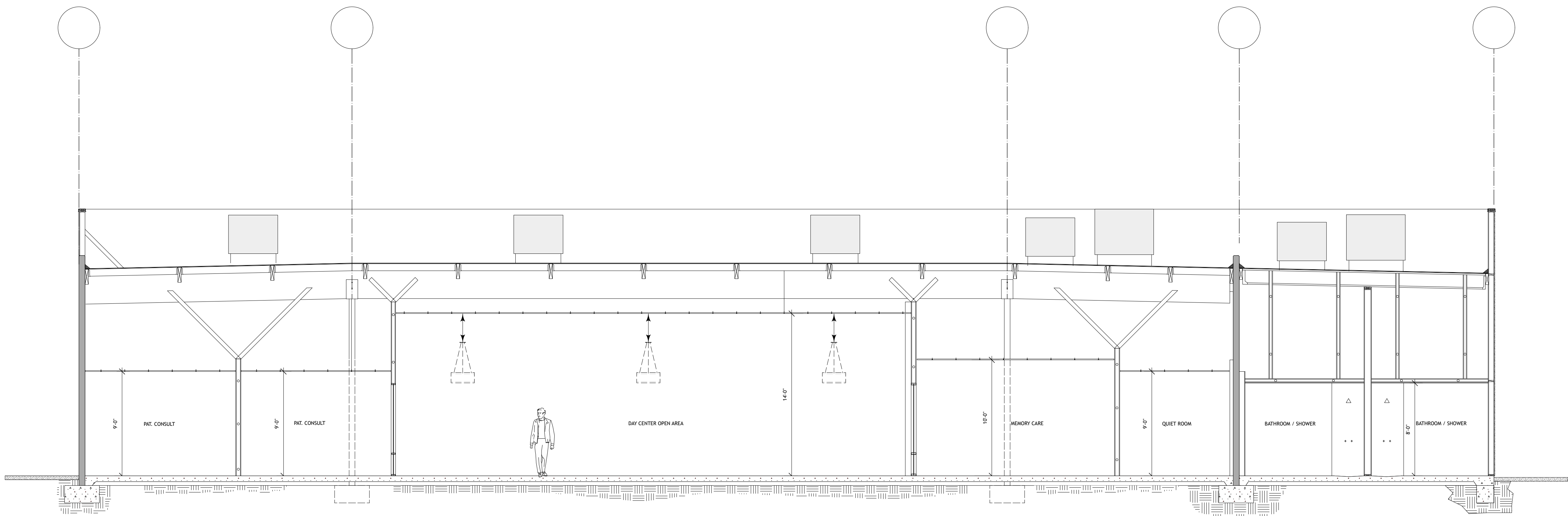
**PROPOSED EXTERIOR  
ELEVATIONS**

SCALE : 3/16" = 1'-0"

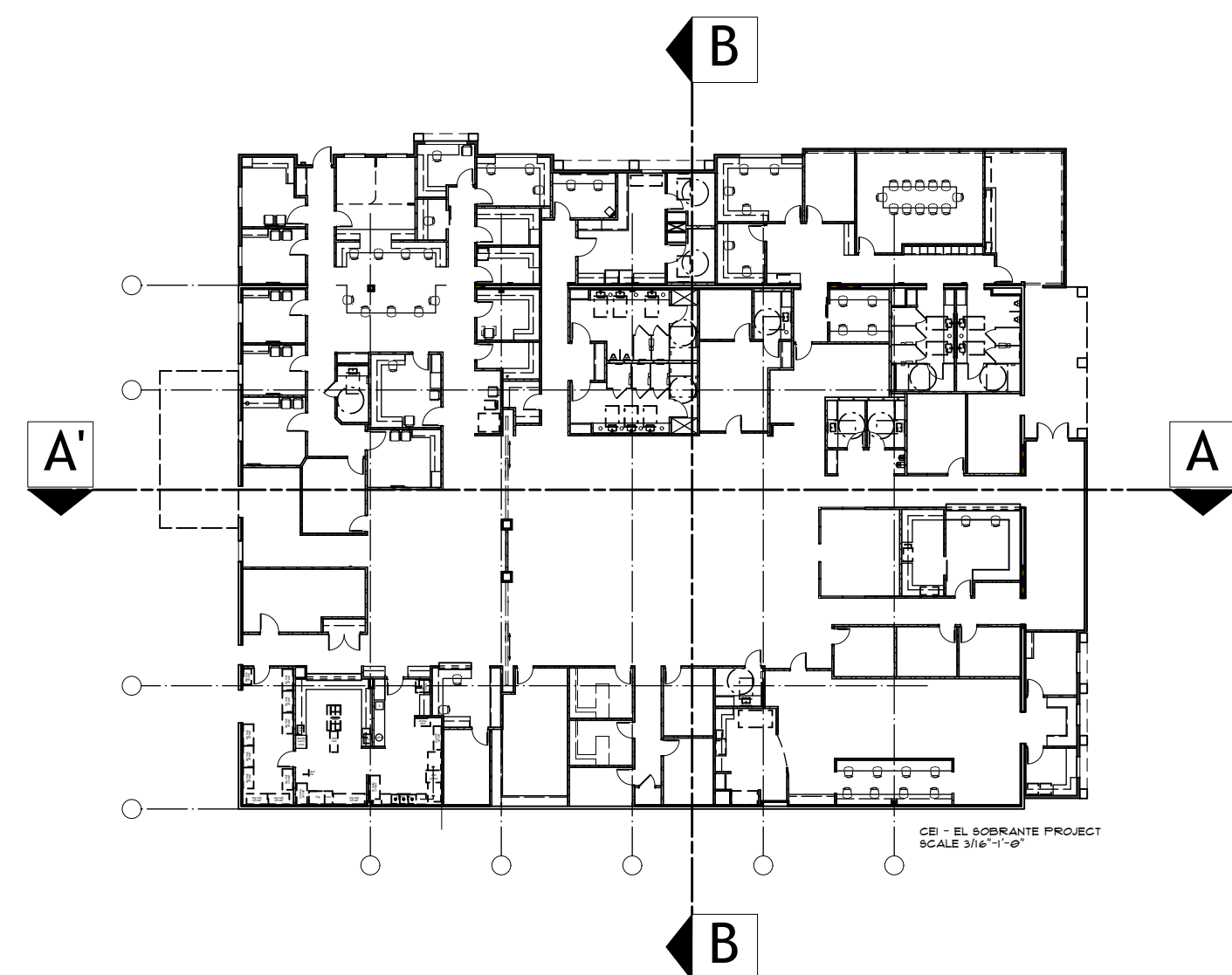




**A** PROPOSED  
BUILDING SECTION  
SCALE : 3/32" = 1'-0"



**B** PROPOSED  
BUILDING SECTION  
SCALE : 3/32" = 1'-0"



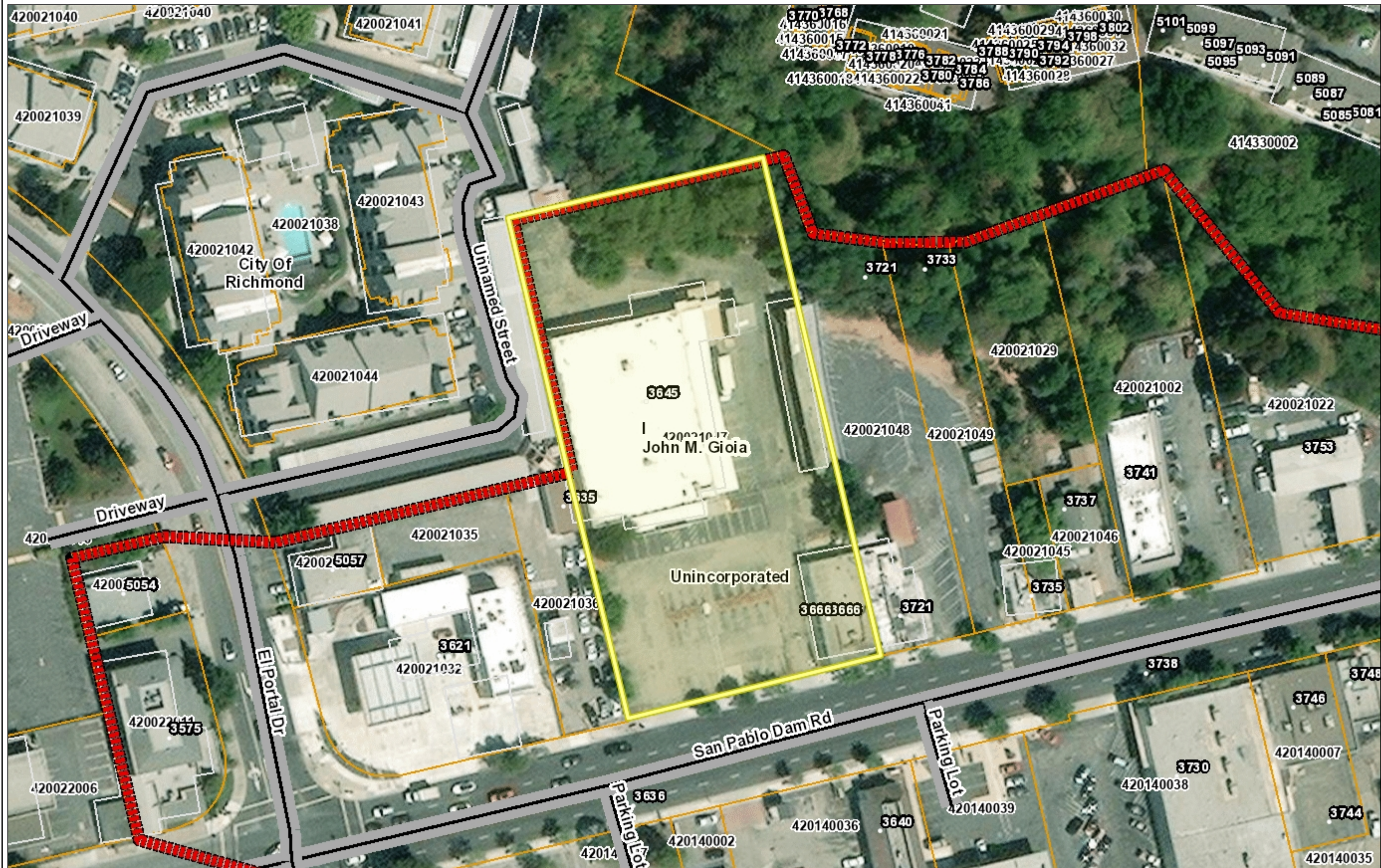
 PROPOSED BUILDING  
SECTIONS KEY PLAN

PROPOSED BUILDING  
SECTIONS







SCALE : 3/16" = 1'-0"



## Aerial Map



### Legend

-  Board of Supervisors' Districts
-  City Limits
- Unincorporated
-  Address Points
-  Streets
-  Building Footprints
-  Assessment Parcels
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations

1: 1,128



## Notes

Contra Costa County -DOIT GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

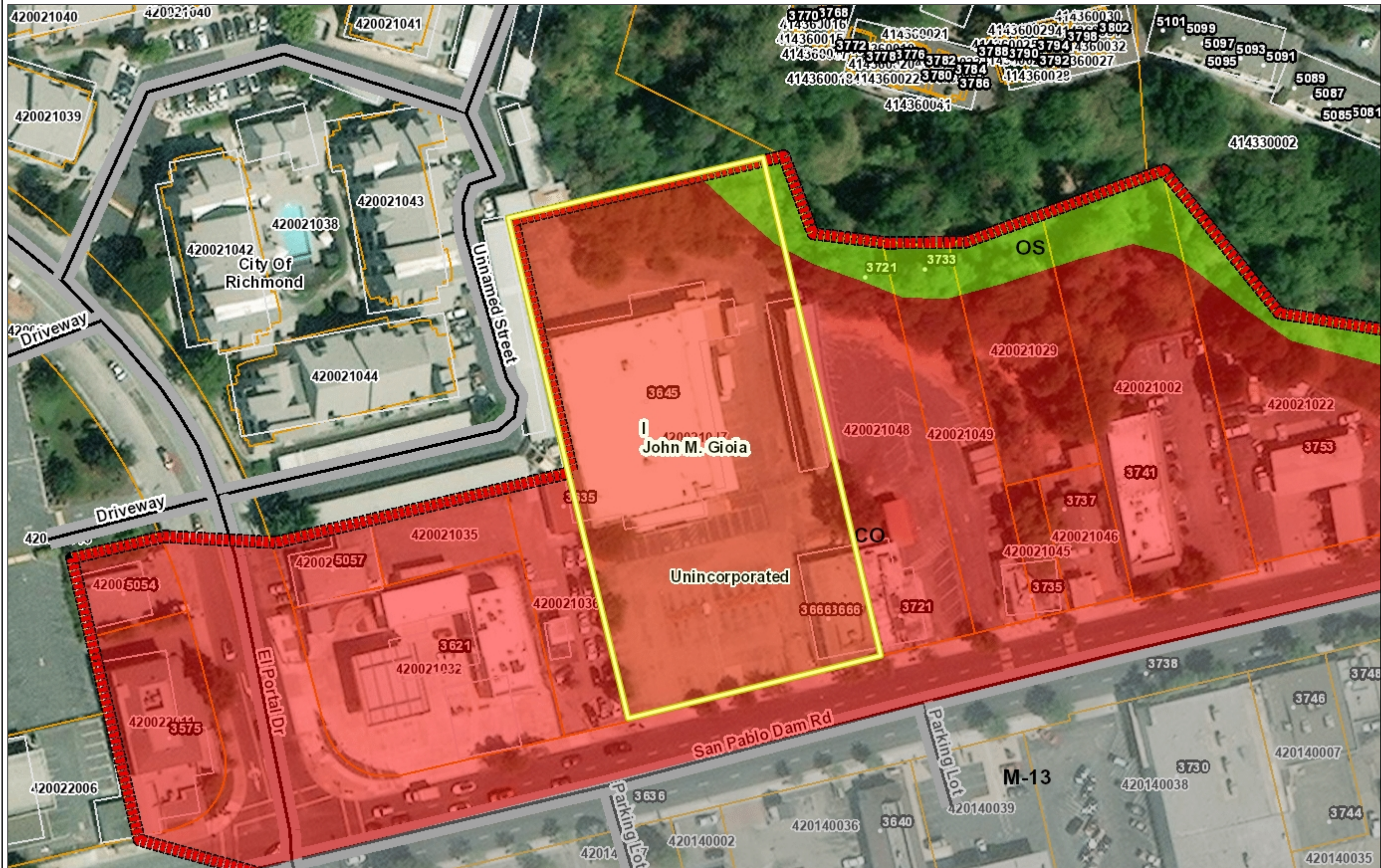
THIS MAP IS NOT TO BE USED FOR NAVIGATION

0.0 0 0.02 0.0 Miles


WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere





## General Plan







































### Legend

-  Board of Supervisors' Districts

 City Limits

 Unincorporated

 General Plan

  -  SV (Single Family Residential - Ver)
  -  SL (Single Family Residential - Low)
  -  SM (Single Family Residential - Me)
  -  SH (Single Family Residential - Hig)
  -  ML (Multiple Family Residential - Lc)
  -  MM (Multiple Family Residential - M)
  -  MH (Multiple Family Residential - H)
  -  MV (Multiple Family Residential - V)
  -  MS (Multiple Family Residential - V)
  -  CC (Congregate Care/Senior Housi)
  -  MO (Mobile Home)
  -  M-1 (Parker Avenue Mixed Use)
  -  M-2 (Downtown/Waterfront Rodeo I)
  -  M-3 (Pleasant Hill BART Mixed Use)
  -  M-4 (Willow Pass Road Mixed Use)
  -  M-5 (Willow Pass Road Commercia)
  -  M-6 (Bay Point Residential Mixed U)
  -  M-7 (Pittsburg/Bay Point BART Sta)
  -  M-8 (Dougherty Valley Village Cent)
  -  M-9 (Montalvin Manor Mixed Use)
  -  M-10 (Willow Pass Business Park M)
  -  M-11 (Appian Way Mixed Use)
  -  M-12 (Triangle Area Mixed Use)
  -  M-13 (San Pablo Dam Road Mixed)
  -  M-14 (Heritage Mixed Use)
  -  CO (Commercial)
  -  OF (Office)
  -  BP (Business Park)
  -  LI (Light Industry)
  -  HI (Heavy Industry)
  -  AL, OIBA (Agricultural Lands & Off)
  -  CR (Commercial Recreation)
  -  ACO (Airport Commercial)
  -  LF (Landfill)
  -  PS (Public/Semi-Public)

1: 1,128



## Notes

Contra Costa County -DOIT GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



CT 3630

SAN PABLO RANCHO

P.B.  
414

P.B.  
414

1"=100'

CHECK

TOBK. 414-34  
TR. 4593  
MB. 245-23

± SAN PABLO CREEK PER 18 L.S.M. 34  
S. LINE LOT 89 TR. 4593

(COUNTY ROAD NO. 20)  
CT 3690

BARRANCA ST.

CITY

EL PORTAL OF RICHMOND

SAN PABLO DAM ROAD

MAJOR RD

CAMINO PABLO

APR

1987

021

022

D-73

ZM: J-6

3-16-87


ASSESSOR'S MAP  
BOOK 420 PAGE 02  
CONTRA COSTA COUNTY




# Zoning Map






































### Legend

-  Board of Supervisors' Districts

 City Limits

Unincorporated

Zoning

  -  R-6 (Single Family Residential)
  -  R-6, -FH -UE (Flood Hazard and Urban Farm Animal Exclusion)
  -  R-6 -SD-1 (Slope Density Hillside and Urban Farm Animal Exclusion)
  -  R-6 -TOV -K (Tree Obstruction and Urban Farm Animal Exclusion)
  -  R-6, -UE (Urban Farm Animal Exclusion)
  -  R-6 -X (Railroad Corridor Combining District)
  -  R-7 (Single Family Residential)
  -  R-7 -X (Railroad Corridor Combining District)
  -  R-10 (Single Family Residential)
  -  R-10, -UE (Urban Farm Animal Exclusion)
  -  R-12 (Single Family Residential)
  -  R-15 (Single Family Residential)
  -  R-20 (Single Family Residential)
  -  R-20, -UE (Urban Farm Animal Exclusion)
  -  R-40 (Single Family Residential)
  -  R-40, -FH -UE (Flood Hazard and Urban Farm Animal Exclusion)
  -  R-40, -UE (Urban Farm Animal Exclusion)
  -  R-65 (Single Family Residential)
  -  R-100 (Single Family Residential)
  -  D-1 (Two Family Residential)
  -  D-1 -T (Transitional Combining District)
  -  D-1, -UE (Urban Farm Animal Exclusion)
  -  M-12 (Multiple Family Residential)
  -  M-12 -FH (Flood Hazard Combining District)
  -  M-17 (Multiple Family Residential)
  -  M-29 (Multiple Family Residential)
  -  F-R (Forestry Recreational)
  -  F-R -FH (Flood Hazard Combining District)
  -  F-1 (Water Recreational)
  -  F-1 -FH (Flood Hazard Combining District)
  -  A-2 (General Agriculture)
  -  A-2, -BS (Boat Storage Combining District)
  -  A-2, -BS -SG (Boat Storage and Special General Agriculture)
  -  A-2 -FH (Flood Hazard Combining District)
  -  A-2, -FH -SG (Flood Hazard and Special General Agriculture)

1: 1,128



## Notes

Contra Costa County -DOIT GIS

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

0.0	0	0.02	0.0 Miles
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WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere





## AGENCY COMMENT REQUEST

Date \_\_\_\_\_

We request your comments regarding the attached application currently under review.

**DISTRIBUTION**

**INTERNAL**

☐ Building Inspection      ☐ Grading Inspection  
☐ Advance Planning      ☐ Housing Programs  
☐ Trans. Planning      ☐ Telecom Planner  
☐ ALUC Staff      ☐ HCP/NCCP Staff  
☐ APC PW Staff      ☐ County Geologist

**HEALTH SERVICES DEPARTMENT**

☐ Environmental Health    ☐ Hazardous Materials

**PUBLIC WORKS DEPARTMENT**

☐ Engineering Services (1 Full-size + 3 email Contacts)  
☐ Traffic  
☐ Flood Control (Full-size)    ☐ Special Districts

**LOCAL**

☐ Fire District \_\_\_\_\_  
     ☐ San Ramon Valley – (email) [rwendel@srvfire.ca.gov](mailto:rwendel@srvfire.ca.gov)  
     ☐ Consolidated – (email) [fire@cccfdp.org](mailto:fire@cccfdp.org)  
     ☐ East CCC – (email) [brodriguez@cccfdp.org](mailto:brodriguez@cccfdp.org)  
☐ Sanitary District \_\_\_\_\_  
☐ Water District \_\_\_\_\_  
☐ City of \_\_\_\_\_  
☐ School District(s) \_\_\_\_\_  
☐ LAFCO  
☐ Reclamation District # \_\_\_\_\_  
☐ East Bay Regional Park District  
☐ Diablo/Discovery Bay/Crockett CSD  
☐ MAC/TAC \_\_\_\_\_  
☐ Improvement/Community Association  
☐ CC Mosquito & Vector Control Dist (email)

**OTHERS/NON-LOCAL**

☐ CHRIS (email only: [nwic@sonoma.edu](mailto:nwic@sonoma.edu))  
☐ CA Fish and Wildlife, Region 3 – Bay Delta  
☐ Native American Tribes

**ADDITIONAL RECIPIENTS**

\_\_\_\_\_

\_\_\_\_\_

*Please submit your comments to:*

Project Planner \_\_\_\_\_

Phone # \_\_\_\_\_

E-mail \_\_\_\_\_

County File # \_\_\_\_\_

Prior to \_\_\_\_\_

\* \* \* \* \*

We have found the following special programs apply to this application:

☐ Active Fault Zone (Alquist-Priolo)  
☐ Flood Hazard Area, Panel # \_\_\_\_\_  
☐ 60-dBA Noise Control  
☐ CA EPA Hazardous Waste Site  
     High or Very High FHSZ

\* \* \* \* \*

**AGENCIES:** Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: ☐ None    ☐ Below    ☐ Attached

Print Name \_\_\_\_\_

Signature \_\_\_\_\_ DATE \_\_\_\_\_

Agency phone # \_\_\_\_\_

## **County File #CDLP22-02049**

### **County Planning Staff Summary of Project Scope**

The applicant requests approval of a land use permit to allow the following:

- 1) Modification and/or removal of existing conditions of approval of County File #CDLP14-02052 that established the existing pub & grill use at the site;
- 2) Conversion of a portion of the existing parking area into a covered outdoor patio and dining area; and
- 3) Construction of an outdoor cooking area consisting of a smoker and pizza oven.



# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number: CDLP22-02049**

**File Date: 1/30/2023**

**Applicant:**

Nathan Trivers Up and Under 2nd Pitch  
5216 Sobrante Ave  
El Sobrante, CA 94803

theupandunder@gmail.com  
(916) 640-6239

**Property Owner:**

SUNSET CENTER LLC  
3223 BLUME DR  
SAN PABLO, CA 948065782

pprendivil@aol.com  
(510) 851-4663

**Project Description:**

Request approval of a Land Use Permit application to modify and/or remove certain conditions of approval for Land Use Permit CDLP14-02052 for the operational restaurant Up and Under 2nd Pitch.

**Project Location: (Address: 5216 SOBRANTE AVE, EL SOBRANTE, CA 94803), (APN: 430-140-027)**

**General Plan Designation(s):** CO

**Zoning District(s):** P-1

**Flood Hazard Areas:** X

**AP Fault Zone:** no

**60-dBA Noise Control:** yes

**MAC/TAC:** El Sobrante

**Sphere of Influence:** Richmond **Sanitary**

**Fire District:** CONSOLIDATED FIRE

**District:** WEST CO WASTEWATER

**Housing Inventory Site:** N/A

**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR  \$5.00	57.00	57.00
LPS0029	Land Use Permit-Other DCD	002606-9660-REV-000-5B0029	5500.00	5500.00
<b>Total:</b>			<b>5662.00</b>	<b>5662.00</b>





To Whom It May Concern:

Listed below are the liberties we would like to be allowed to do with the review of the current conditions imposed on the property at 5216 Sobrante Ave:

1. Weekly pub quiz
2. Live music
3. Cabaret license
4. Saturday Pub rentals (birthdays, anniversaries, retirement, and any other social engagements)
5. Patio service
6. Patio tent
7. Outdoor cooking (pizza and smoker)
8. Fundraisers for schools, non-profits, etc.
9. Farmer's market events (in the parking lot)
10. Hours of operation:
  - Monday: closed
  - Tuesday: 2pm-8pm
  - Wednesday-Sunday 7am-11am Breakfast only. Re-open at 2pm -9pm
  - Closed Saturday for private events.

Hoping for your kind consideration.

Best,

Up & Under: 2nd Pitch Management

CURRENT COA NOTES

CONDITIONS OF APPROVAL

Administrative

- 1. **Land Use Permit approval** is granted to allow for the establishment of a sports bar and grill with the following activities:
  - a) retail sale of alcoholic beverages for on-premises consumption;
  - b) take-out food services; and
  - c) the hosting of up to twenty special events per calendar year

Remove condition 1.c—restriction on the # of events per calendar year. Business is unable to operate successfully operate due to the restrictions of this condition.

- 2. The Land Use Permit approvals described above are granted based on or as generally shown on the following documents:
  - a) land use permit application received by the Department of Conservation and Development, Community Development Division (CDD) on September 9, 2014;
  - b) project plans received by the CDD on February 17, 2015; and
  - c) business description statements received by the CDD on September 9, 2014, January 5, 2015, September 12, 2019, and November 14, 2019.

No changes

Compliance Report

- 3. **At least 30 days prior to commencement of the use**, the applicant shall submit a report on compliance with the conditions of approval of this permit for review and approval of the CDD. The report shall list each condition followed by a description of what the applicant has provided as evidence of compliance with that condition. Unless otherwise indicated, the applicant will be required to demonstrate compliance with the conditions of this report prior to commencement of alcohol sales or take-out food activities. The CDD may reject the report if it is not comprehensive with respect to applicable requirements for the requested permit.  
The permit compliance review is subject to staff time and materials charges, with an initial deposit of \$500, which shall be paid at the time of submittal of the compliance report.

In progress

Approval for Sale of Alcohol

- 4. The approval is for the sale of alcohol for on-site consumption only. Any proposal for the sale of alcoholic beverages for off-site consumption shall require a review by the CDD and may require a modification to this land use permit.

Approval to sell alcohol on-site or to-go based on CA laws (ABC).

Approval for Food Sales

- 5. The approval for food sales includes that for both on-site consumption as well as for take-out food services.

Compliant

### Federal and State Agency Approval

6. **Prior to occupancy of the building**, the applicant shall provide evidence to the CDD that a license(s) has been obtained or is under review by the California Department of Alcoholic Beverage Control (ABC) for the alcohol sales approved under this permit. All required permits from the California ABC shall remain current and in good standing for the life of the approved alcohol sales use.

Compliant

7. **Within thirty days from the commencement of alcohol sales**, the applicant shall provide evidence to the CDD that the subject facility has been registered with the Alcohol and Tobacco Tax and Trade Bureau (TTB).

Compliant

### Business License

8. The applicant shall obtain a business license from the County Tax Collector's Office for the associated business within which alcohol sales has been approved under this

Page 10 of 18

permit. This license shall be renewed annually or as otherwise required, and shall remain in good standing as long as the approved use is in operation.

Compliant

### Trash and Litter Pick-Up

9. At least three times a week, the operator of the approved establishment shall pick up and properly dispose of trash, litter and garbage originating from such take-out food establishment, deposited on public property within four hundred feet of any boundary of the premises on which such take-out food establishment is located.

Remove condition 9. Replace with weekly receptacle pick-up per Republic Trash Company at the location.

10. Upon the request of any owner of private property located within four hundred feet of any boundary of the premises on which the take-out food establishment is located, at least three times a week, the operator of the approved establishment shall pick up and properly dispose of trash, litter and garbage originating from such take-out food establishment, deposited on such private property visible from a public street.

Remove condition 10.

### Security for Litter Removal

11. **Prior to issuance of a building permit**, the applicant shall post a cash deposit, letter of credit, or corporate surety bond in the amount of **\$1,500** to cover possible cost of trash, litter, or garbage removal should the proprietor of the take-out food establishment fail to properly police the area. If a corporate surety bond is used, it shall be in a form approved by the County Counsel. If an instrument of credit is used, it shall be in a form approved by the County Counsel, from a financial institution regulated by the State or Federal Government pledging that the funds necessary to meet the performance are on deposit and guaranteed for payment on demand, and agreeing that the funds designated by the instrument shall become trust funds for the purposes set forth in the instrument. Should the amount of the security deposited fall below \$1,500, the difference shall be deposited forthwith so that at all times the County has access to the amount of security required.

Compliant (?), otherwise, remove condition 11.

**Landscaping**

12. Proposed landscaping and irrigation shall comply with the State’s Model Water Efficient Landscape Ordinance or the County Ordinance, adopted pursuant thereto. Verification of compliance with the Ordinance shall accompany any submitted plans. California native and/or drought-tolerant plants shall be used as much as possible.

Compliant

**Signs**

13. All signs shall be consistent with the design guidelines of the Downtown El Sobrante Planned Unit Development District. Any future sign proposal shall be subject to an Administrative permit, and the review and approval of the CDD.

Compliant. We will submit documentation for any future changes.

14. All windows shall be removed on the northeast side of building.

Compliant

15. Cameras shall be installed on the interior and exterior of the building no later than 30 days after occupancy.

Compliant

**Lighting**

16. The parking lot shall be lit with lights shining downward on the site and not onto adjacent properties. Plans for the proposed lighting shall be submitted to the County for review and approval of the CDD, prior to occupancy.

Compliant

**Exterior Doors**

17. Exterior doors shall be kept closed and HVAC and/or sufficient ceiling fans shall be installed to prevent propping of doors for ventilation.

Remove Condition 17. Natural airflow is healthier and more economical.

18. Exterior doors shall be replaced to a solid durable material to decrease noise.

Compliant

**Hours of Operation**

19. The hours of operation shall be as follows:
- Wednesday –Saturday: 8:00 a.m. – 12 a.m. (midnight)
  - Sunday – Tuesday: 8:00 a.m. – 12 a.m. (midnight)
- Wednesday – Saturday hours may be extended from 12 a.m. midnight to 1 am, one year from this permit effective date AND after the determination of the annual review as required under Condition No. 28 (Annual Review).

Request to extend hours to 1 AM per determination of the annual review.

**Special Events**

20. No more than 20 special events shall be permitted at the subject property within a calendar year, and no more than two special events shall be hosted per month. Approved special events include, but are not limited to, the following:

- Community Meetings: Rotary Club, Chamber of Commerce, First Responders

- Private Events: Birthdays, Weddings, Seminars, Corporate Meetings
- Entertainment: Live Music, Karaoke, Poker Nights, Comedy Shows,
- Catering Events

Remove Condition 20. Business is unable to operate successfully operate due to the restrictions of this condition.

21. The applicant shall maintain a log of all special events held on the property and maintain information regarding the type of event, number of attendees, and the hours of the event. The log shall be made available to CDD staff, and to the general public, upon request.

Remove condition 21. Business is unable to operate successfully operate due to the restrictions of this condition.

22. The pre-sale of tickets for special events is prohibited. Exceptions can be made for events in which the facility will be closed to the general public for the duration of the event.

Compliant

23. The number of customers and attendees allowed at the facility during special events shall be limited based on available off-street parking. Once all available off-street parking is occupied, no additional sports bar and grill customers or special event attendees shall be permitted. Onsite tandem parking may be provided along the northern parking area. The layout of the tandem parking shall be provided by valet parking service and shall be allowed as long as it does not block ADA parking spaces, and it does not block or overhang the sidewalk. A plan for the tandem parking shall be submitted for review and approval of CDD staff as part of Condition of Compliance Review No. 3. Valet parking service shall be provided for exclusive use of onsite parking and at no circumstance be allowed outside of the property.

Remove condition 23. There is sufficient parking for the location's seat capacity.

24. Outdoor special events shall be prohibited to ensure availability of on-site parking.

Compliant

25. At least 14 days prior to hosting a special event, the applicant or property owner shall notify the occupants of all properties within 300 feet of the intended date, duration, and nature of the event. A copy of such letter shall be kept as part of the required log under Condition No. 21.

Remove 25. Business is unable to operate successfully operate due to the financial cost of this condition.

**Off Street Parking**

26. A minimum of twenty-nine (29) 8.5 foot by 18 foot off street parking spaces shall be installed and properly marked with the required ADA parking accommodations.

Compliant

27. Customer loitering in the parking area shall be prohibited both during and after business hours. Within 30 days from the effective date of this permit, the applicant shall provide plans for 2 "No Loitering" signs. One sign to be placed along the entrance of the facility and the second one to be posted along the wall facing the northern part of the parking lot.

Compliant

**Annual Review**

28. Twelve months from the effective date of the operation of the facility, the applicant will submit a condition of compliance review for consideration of DCD. This review will be done administratively, unless determined by DCD that review must be done at a public hearing. In determining such review, consideration will be taken to a) the applicant's commitment to comply with all of the required conditions, and b) the amount of complaints received during the twelve month period. A fee in the amount of \$500 (time and materials) shall be submitted for staff's review.

In Progress

**Application Costs**

29. This application is subject to an initial application deposit of \$2,700.00, which was paid with the application submittal, plus time and materials costs if the application review expenses exceed 100% of the initial deposit. **Any additional costs due must be paid within sixty (60) days of the permit effective date or prior to use of the permit, whichever occurs first.** The applicant may obtain current costs by contacting the project planner. If you owe additional fees, a bill will be sent to you shortly after permit issuance.

Compliant

**Indemnification**

30. **Prior to the commencement of alcohol sales,** the applicant shall execute an indemnity agreement with the County in a form acceptable to the CDD indicating that the applicant shall defend, indemnify, and hold harmless Contra Costa County, its agents, officers, and employees, any claim, action, or proceeding against the County or its agents, officers, or employees, to attack, set aside, void, or annul the County's approval of this land use permit. The County will promptly notify the applicant of any claim, action or proceeding and cooperate fully in the defense.

Compliant

**PUBLIC WORKS DEPARTMENT CONDITIONS OF APPROVAL**

**Applicant shall comply with the requirements of Title 8, Title 9 and Title 10 of the Ordinance Code. Any exception(s) must be stipulated in these Conditions of Approval. Conditions of Approval are based on the site plan submitted to the Department of Conservation and Development, Community Development Division, on February 17, 2015.**

**COMPLY WITH THE FOLLOWING CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF A BUILDING PERMIT AND PRIOR TO INITIATION OF THE USE PROPOSED UNDER THIS PERMIT.**

Page 14 of 18

- 31.Improvement plans prepared by a registered civil engineer shall be submitted, if necessary, to the Public Works Department, Engineering Services Division, along with review and inspection fees, and security for all improvements required by the Ordinance Code for the conditions of approval of this permit. Any necessary traffic signing and striping shall be included in the improvement plans for review by the Transportation Engineering Division of the Public Works Department.

Not applicable

**Roadway Improvements (Frontage)**

32. Any cracked and displaced curb, gutter, and sidewalk shall be removed and replaced along the project frontage of Sobrante Avenue and Valley View Avenue. Concrete shall be saw cut prior to removal. Existing lines and grade shall be maintained. New curb and gutter shall be doveled into existing improvements.

Compliant by the property owner (?)

**Access to Adjoining Property**

33. Applicant shall obtain an encroachment permit from the Application and Permit Center, if necessary, for construction of driveways or other improvements within the right-of-way of Sobrante Avenue and Valley View Avenue.

Will be compliant as needed

34. Applicant shall only be permitted access at the locations shown on the approved site plan.

Compliant by property owner

**Sight Distance**

35. Applicant shall provide sight distance at the on-site driveways and Sobrante Avenue for a design speed of 35 miles per hour. The applicant shall trim vegetation, as necessary, to provide sight distance at these driveways. Any new landscaping, signs, fencing, retaining walls, or other obstructions proposed at the driveways shall be setback to ensure that the sight lines are clear.

Compliant by property owner

**Bicycle – Pedestrian Facilities**

36. Curb ramps and driveways shall be designed and constructed in accordance with current County Standards. A detectable warning surface (e.g. truncated domes) shall be installed on all curb ramps. Adequate right-of-way shall be dedicated at the curb returns to accommodate the returns and curb ramps; accommodate a minimum 4-foot landing on top of any curb ramp proposed.

Compliant by property owner

37. Applicant shall design all public and private pedestrian facilities in accordance with Title 24 (Handicap Access) and the Americans with Disabilities Act. This shall include all sidewalks, paths, driveway depressions, and curb ramps.

Compliant by property owner

**Parking**

38. The curb shall be painted red to prohibit parking along the project frontage on Sobrante Avenue subject to the review of the Public Works Department and the review and approval of the Board of Supervisors.

Compliant

**Drainage Improvements**

39. The applicant shall collect and convey all stormwater entering and/or originating on this property, without diversion and within an adequate storm drainage system, to an adequate natural watercourse having definable bed and banks, or to an existing adequate public storm drainage system which conveys the stormwaters to an adequate natural watercourse, in accordance with Division 914 of the County Ordinance Code.

*Exception:* The applicant shall be permitted an exception from the collect and convey requirements of the County Ordinance Code provided that the increase in area of impervious surface is less than 1,500 square feet in retail business, commercial or industrial land use areas, the existing drainage pattern is maintained, and, additional concentrated storm drainage is not discharged onto adjacent property.

Applicant shall design and construct all storm drainage facilities in compliance with the County Ordinance Code and Public Works Department design standards

Compliant by property owner

**Miscellaneous Drainage Requirements**

40. The applicant shall construct creek capacity improvements as called for in the "San Pablo Creek Watershed Study" and as directed by the Public Works Department, Flood Control and Water Conservation District.

OR

Applicant shall contribute \$0.25 per square foot of additional impervious surface area to the San Pablo Creek watershed mitigation fund, to be used for creek capacity improvements within the San Pablo Creek Drainage Area.

Compliant by property owner

**National Pollutant Discharge Elimination System (NPDES)**

41. The applicant shall be required to comply with all rules, regulations and procedures of the National Pollutant Discharge Elimination System (NPDES) for municipal, construction and industrial activities as promulgated by the California State Water Resources Control Board, or any of its Regional Water Quality Control Boards (San Francisco Bay - Region II).

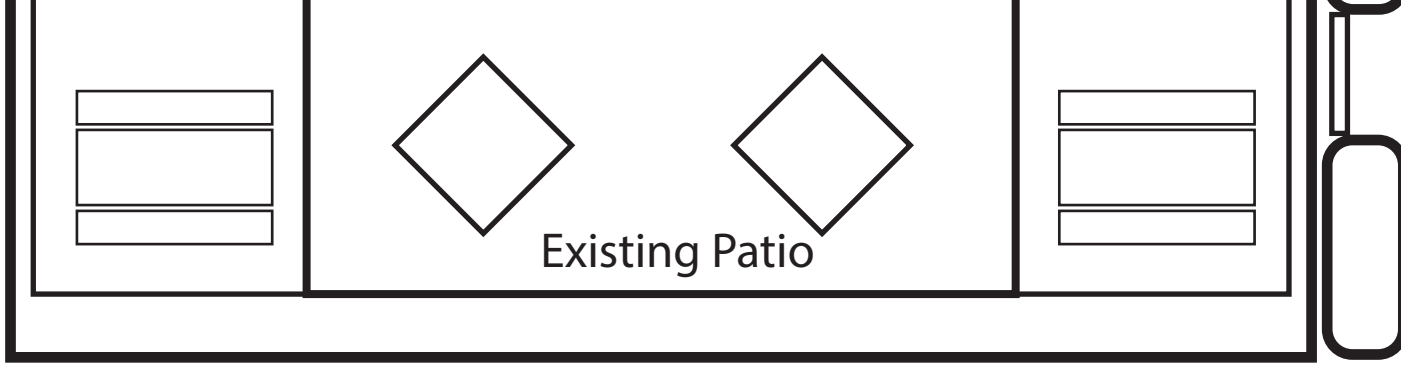
Compliant by property owner



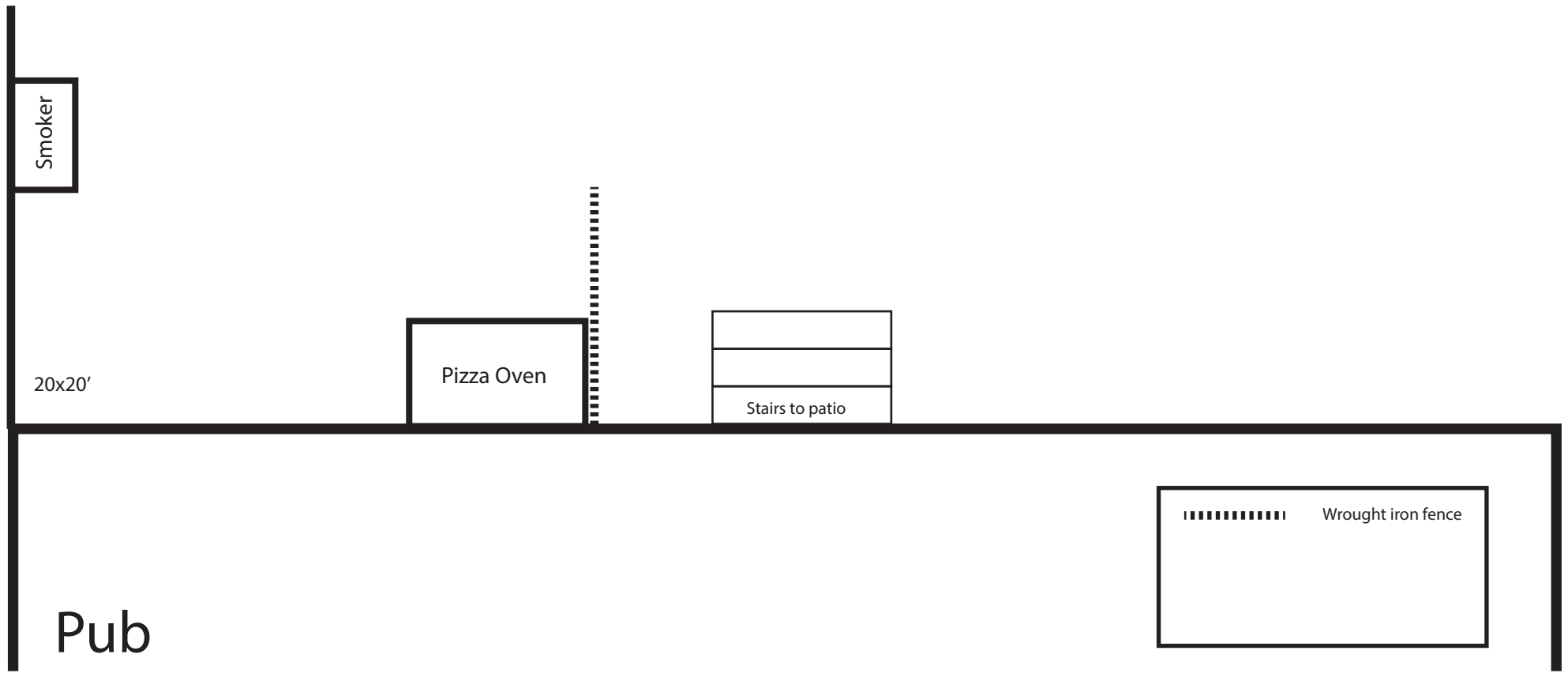
### **Stormwater Management and Discharge Control Ordinance**

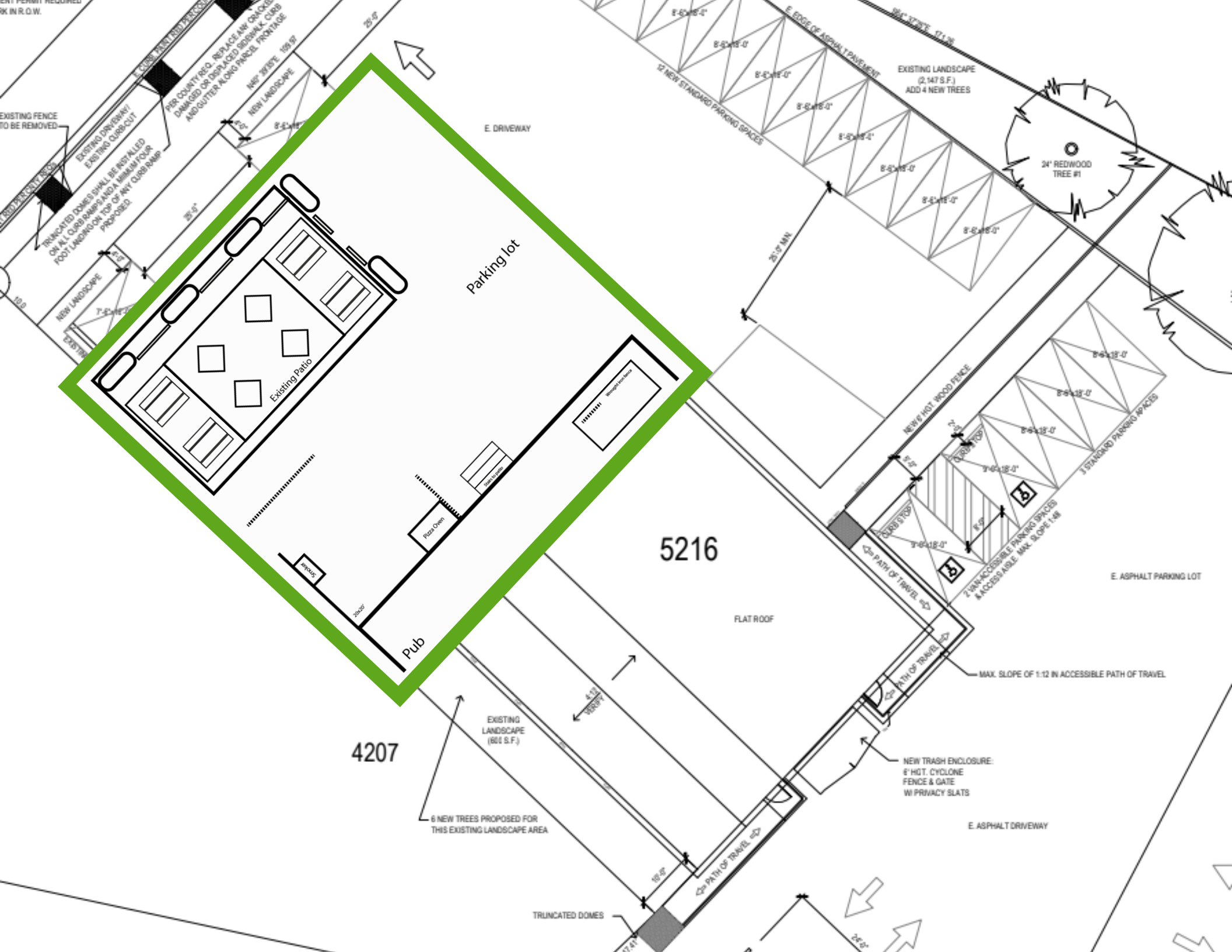
42. The applicant will not be subject to the requirements of Provision "C.3" of the County Stormwater Management and Discharge Control Ordinance, since the proposed project will not create or replace at least 10,000 square feet of impervious surface (5,000 square feet for projects that include parking lots, restaurants, automotive service facilities and gas stations). However, this project is subject to all other provisions of the County Stormwater Management and Discharge Control Ordinance (§1014, Ordinance No. 2005-01) and future development applications on the subject parcel may be required to comply with Provision "C.3."

Compliant by property owner



Parking lot



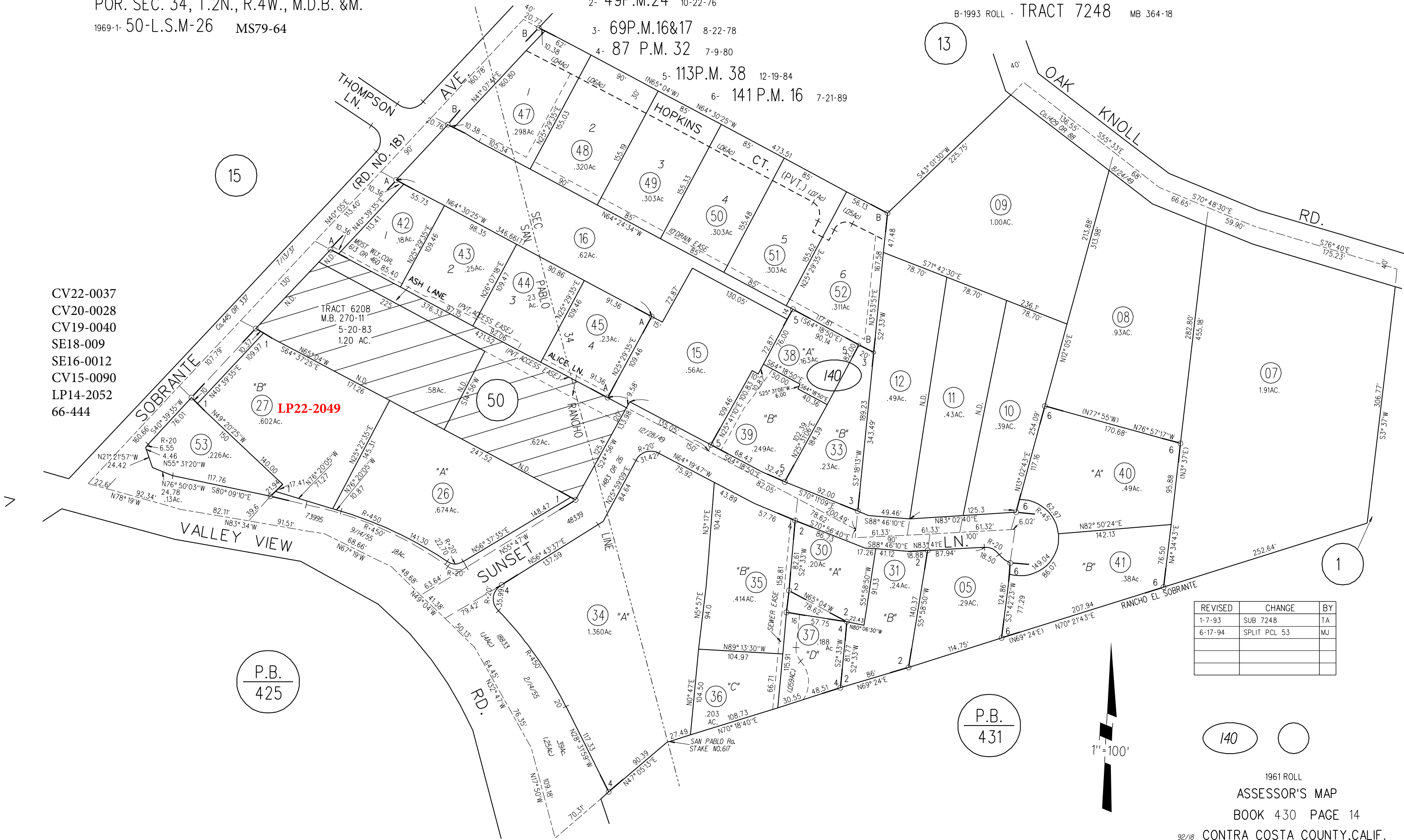


SAN PABLO RANCHO  
POR. SEC. 34, T.2N., R.4W., M.D.B. &M.  
1969-1- 50-L.S.M-26 MS79-64

TAX CODE AREA  
A-1990 ROLL - TRACT 6916 MAMRE HILL M.B. 336-33  
B-1993 ROLL - TRACT 7248 MB 364-18

2- 49P.M.24 10-22-76  
3- 69P.M.16&17 8-22-78  
4- 87 P.M. 32 7-9-80  
5- 113P.M. 38 12-19-84  
6- 141P.M. 16 7-21-89

CV22-0037  
CV20-0028  
CV19-0040  
SE18-009  
SE16-0012  
CV15-0090  
LP14-2052  
66-444



REVISED	CHANGE	BY
1-7-93	SUB 7248	TA
6-17-94	SPLIT PCL 53	MJ

140



General Plan: Commercial (CO)



Legend

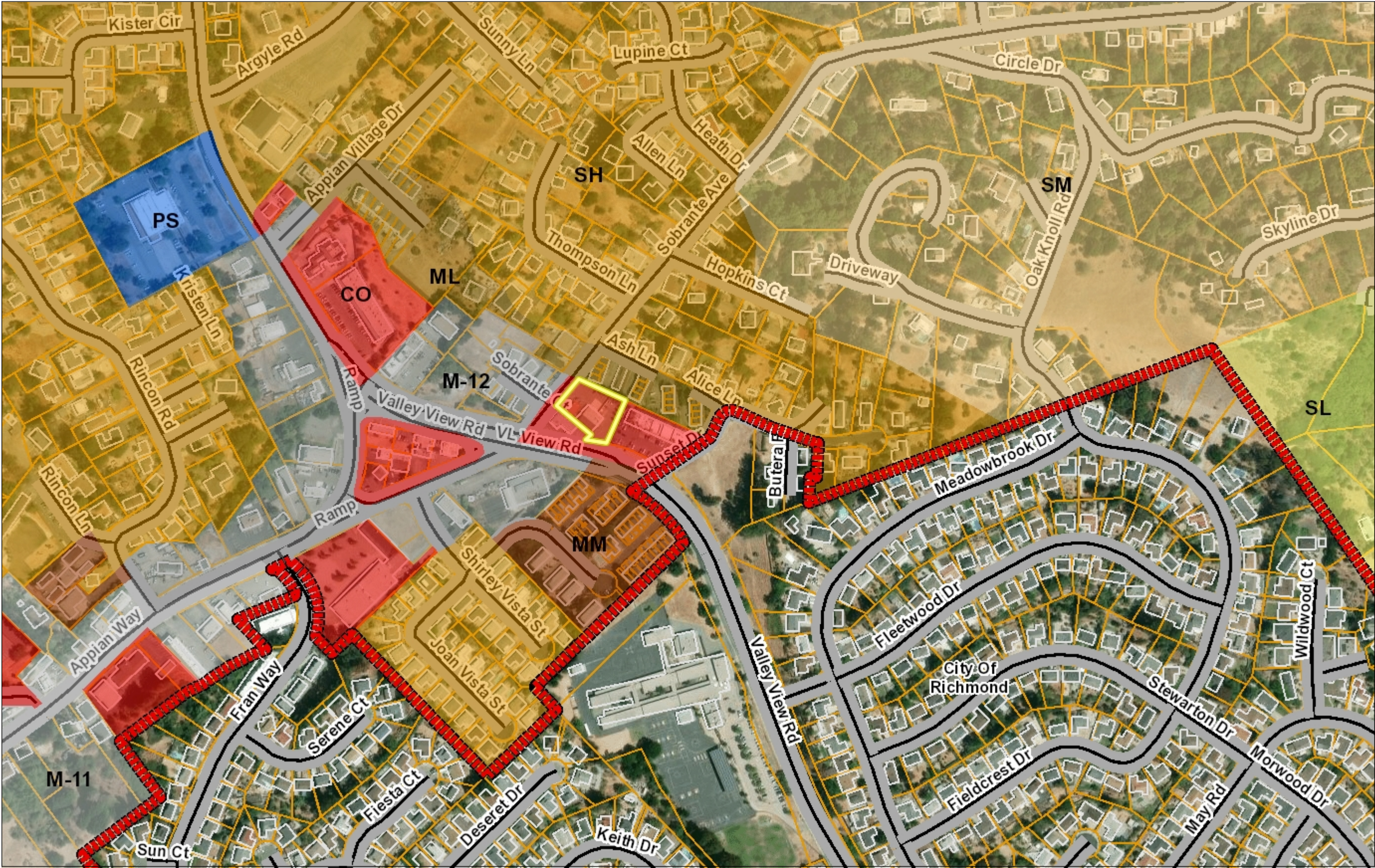
- City Limits
- General Plan**
- SV (Single Family Residential - Ver
  - SL (Single Family Residential - Low
  - SM (Single Family Residential - Me
  - SH (Single Family Residential - Hig
  - ML (Multiple Family Residential - Lc
  - MM (Multiple Family Residential - M
  - MH (Multiple Family Residential - H
  - MV (Multiple Family Residential - Vi
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  - M-5 (Willow Pass Road Commercia
  - M-6 (Bay Point Residential Mixed U
  - M-7 (Pittsburg/Bay Point BART Sta
  - M-8 (Dougherty Valley Village Cent
  - M-9 (Montalvin Manor Mixed Use)
  - M-10 (Willow Pass Business Park M
  - M-11 (Appian Way Mixed Use)
  - M-12 (Triangle Area Mixed Use)
  - M-13 (San Pablo Dam Road Mixed
  - M-14 (Heritage Mixed Use)
  - CO (Commercial)
  - OF (Office)
  - BP (Business Park)
  - LI (Light Industry)
  - HI (Heavy Industry)
  - AL, OIBA (Agricultural Lands & Off
  - CR (Commercial Recreation)
  - ACO (Airport Commercial)
  - LF (Landfill)
  - PS (Public/Semi-Public)
  - PR (Parks and Recreation)
  - OS (Open Space)

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Notes

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0.1 0 0.07 0.1 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

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THIS MAP IS NOT TO BE USED FOR NAVIGATION



Zoning: El Sobrante Planned Unit (P-1)



**Legend**

City Limits

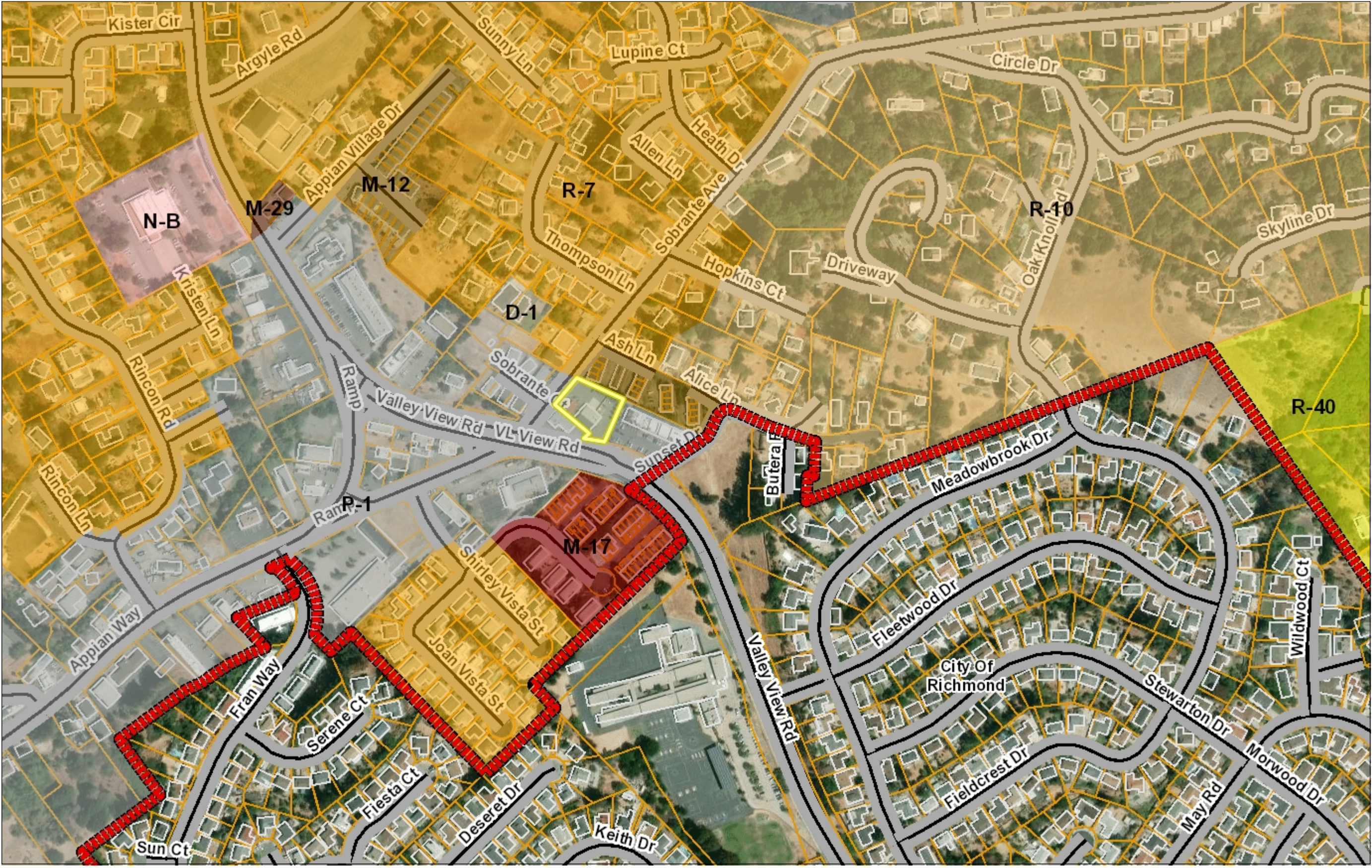
**Zoning**

- R-6 (Single Family Residential)
- R-6, -FH -UE (Flood Hazard and A
- R-6 -SD-1 (Slope Density Hillside I
- R-6 -TOV -K (Tree Obstruction and
- R-6, -UE (Urban Farm Animal Excl
- R-6 -X (Railroad Corridor Combinir
- R-7 (Single Family Residential)
- R-7 -X (Railroad Corridor Combinir
- R-10 (Single Family Residential)
- R-10, -UE (Urban Farm Animal Exc
- R-12 (Single Family Residential)
- R-15 (Single Family Residential)
- R-20 (Single Family Residential)
- R-20, -UE (Urban Farm Animal Exc
- R-40 (Single Family Residential)
- R-40, -FH -UE (Flood Hazard and A
- R-40, -UE (Urban Farm Animal Exc
- R-65 (Single Family Residential)
- R-100 (Single Family Residential)
- D-1 (Two Family Residential)
- D-1 -T (Transitional Combining Dist
- D-1, -UE (Urban Farm Animal Excl
- M-12 (Multiple Family Residential)
- M-12 -FH (Flood Hazard Combining
- M-17 (Multiple Family Residential)
- M-29 (Multiple Family Residential)
- F-R (Forestry Recreational)
- F-R -FH (Flood Hazard Combining I
- F-1 (Water Recreational)
- F-1 -FH (Flood Hazard Combining I
- A-2 (General Agriculture)
- A-2, -BS (Boat Storage Combining I
- A-2, -BS -SG (Boat Storage and So
- A-2 -FH (Flood Hazard Combining I
- A-2, -FH -SG (Flood Hazard and Sc
- A-2 -SD-1 (Slope Density Hillside D
- A-2, -SG (Solar Energy Generation

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**Notes**  
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Legend

- City Limits
- Streets
- Building Footprints
- Assessment Parcels
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations



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Notes  
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